



Leicester
City Council

**MEETING OF THE HERITAGE, CULTURE, LEISURE AND SPORT
SCRUTINY COMMISSION**

DATE: TUESDAY, 7 MARCH 2017
TIME: 5:30 pm
**PLACE: Meeting Room G.01, Ground Floor, City Hall,
115 Charles Street, Leicester, LE1 1FZ**

Members of the Committee

Councillor Bajaj (Chair)
Councillor Unsworth (Vice-Chair)

Councillors Dr Barton, Dawood, Govind, Shelton and Singh Johal
(1 unallocated non-grouped place)

Members of the Committee are invited to attend the above meeting to consider the items of business listed overleaf.

Elaine Baker

For Monitoring Officer

Officer contacts:

Anita Patel (Scrutiny Policy Officer)

Elaine Baker (Democratic Support Officer),

Tel: 0116 454 6355, e-mail: elaine.baker@leicester.gov.uk
Leicester City Council, City Hall, 115 Charles Street, Leicester, LE1 1FZ

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Further information

If you have any queries about any of the above or the business to be discussed, please contact:

Elaine Baker, Democratic Support Officer on 0116 454 6355

Alternatively, email elaine.baker@leicester.gov.uk, or call in at City Hall.

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PUBLIC SESSION

AGENDA

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1. APOLOGIES FOR ABSENCE

2. DECLARATIONS OF INTEREST

Members are asked to declare any interests they may have in the business to be discussed.

3. MINUTES OF THE PREVIOUS MEETING

Appendix A

The Minutes of the meeting of the Heritage, Culture, Leisure and Sport Scrutiny Commission held on 12 January 2017 are attached and Members are asked to confirm them as a correct record.

4. PROGRESS ON ACTIONS AGREED AT THE LAST MEETING

To note progress on actions agreed at the previous meeting and not reported elsewhere on the agenda (if any)

5. CHAIR'S ANNOUNCEMENTS

6. PETITIONS

The Monitoring Officer to report on the receipt of any petitions submitted in accordance with the Council's procedures.

7. QUESTIONS, REPRESENTATIONS, STATEMENTS OF CASE

The Monitoring Officer to report on the receipt of any questions, representations and statements of case submitted in accordance with the Council's procedures.

8. PROPOSALS FOR THE FUTURE USE OF THE HAYMARKET THEATRE

The Director of Tourism, Culture and Inward Investment will give a presentation on proposals for the future use of the Haymarket Theatre. The Commission is recommended to receive this presentation and comment as appropriate.

Members of the Economic Development, Transport and Tourism Scrutiny Commission have been invited to the meeting to assist in the scrutiny of this item.

9. CHURCH GATE CONSERVATION AREA

Appendix B

The Director of Planning, Transport and Economic Development submits a report presenting proposed new guidance for the Church Gate Conservation Area, including proposed boundary changes and a new management plan. The Commission is recommended to note the report and provide comments on the Appraisal and Management Plan during the consultation period, (ending on 12 March 2017).

Members of the Economic Development, Transport and Tourism Scrutiny Commission have been invited to the meeting to assist in the scrutiny of this item.

10. UPDATE ON THE TASK GROUP REVIEW OF THE ROLE OF THE ARTS AND CULTURE IN DELIVERING MENTAL HEALTH AND WELL-BEING OUTCOMES

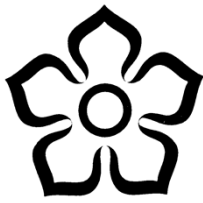
The Chair will give an update on progress with the Task Group review of the role of the arts and culture in delivering mental health and well-being outcomes. The Commission is recommended to receive the update and comment as appropriate.

11. WORK PROGRAMME

Appendix C

The current work programme for the Commission is attached. The Commission is asked to consider this and make comments and/or amendments as it considers necessary.

12. ANY OTHER URGENT BUSINESS



Leicester
City Council

Appendix A

Minutes of the Meeting of the
HERITAGE, CULTURE, LEISURE AND SPORT SCRUTINY COMMISSION

Held: THURSDAY, 12 JANUARY 2017 at 5:30 pm

P R E S E N T :

Councillor Bajaj (Chair)
Councillor Unsworth (Vice-Chair)

Councillor Dr Barton
Councillor Dawood

Councillor Shelton
Councillor Singh-Johal

In Attendance:

Councillor Clair, Assistant City Mayor - Culture, Leisure and Sport

* * * * *

46. APOLOGIES FOR ABSENCE

Apologies for absence were received from Councillor Govind.

47. DECLARATIONS OF INTEREST

There were no declarations of interest.

48. MINUTES OF THE PREVIOUS MEETING

AGREED:

That the minutes of the meeting of the Heritage, Culture, Leisure and Sport Scrutiny Commission held on 15 November 2016 be confirmed as a correct record.

49. PROGRESS ON ACTIONS AGREED AT THE LAST MEETING

a) Minute 41, "New Walk Museum Staircase"

As requested, Members had been advised that, when the statue of suffragette

Margaret McDonald was removed from display, it was stored in several crates by the Museums service. However, the statue was made of plaster and was very fragile, so it was safer to leave it crated than to display it.

Members recognised the problems associated with displaying a statue in this condition, but suggested that a cast could be made of the statue, (for example, in fibreglass or resin). If the statue was damaged while on display, repairs could be made using this cast.

In reply, the Head of Arts and Museums confirmed that the Museums service had a lot of fragile items, which were stored carefully. This particular statue would be kept, as its importance to the city was recognised. An opportunity to improve on the current situation regarding this statue could be available if the Council's application to become an Arts Council England National Portfolio Organisation was successful, (see minute 52, "Museums: Arts Council England's National Portfolio Organisation 2018/22 Application", below.)

b) Minute 42, "Bereavement Services Update"

The Assistant City Mayor for Culture, Leisure and Sport undertook to liaise with the Director of Neighbourhood and Environmental Services to determine:

- i) Whether the Bereavement Services marketing plan included details of how the needs of faith communities were met and how this information was provided to communities; and
- ii) Whether a further open day could be held at Gilroes Cemetery and Crematorium, this to include advice on the processes that needed to be completed following a person's death.

50. PETITIONS

The Monitoring Officer reported that no petitions had been received.

51. QUESTIONS, REPRESENTATIONS, STATEMENTS OF CASE

The Monitoring Officer reported that no questions, representations or statements of case had been received.

52. MUSEUMS: ARTS COUNCIL ENGLAND'S NATIONAL PORTFOLIO ORGANISATION 2018/22 APPLICATION

The Director of City Development and Neighbourhoods submitted a report outlining the background and application process to become an Arts Council England National Portfolio Organisation and outlining Leicester Museums' proposed application.

The Head of Arts and Museums introduced the report, noting that various venues in the city already benefitted from funding from the Arts Council England (ACE) as “Regularly Funded Organisations”. However, from 2018/22, ACE funding for museums would be integrated in to the National Portfolio Organisation (NPO) funding programme.

The Council was working with 15 local organisations on NPO funding applications, through which it was hoped that the city would receive approximately £600,000. Successful applicants would start delivering programmes in April 2018.

The Museum service proposal was likely to include the following:

- Understanding and developing audiences and evaluation projects, including improving the way in which they were marketed / promoted;
- An “excellence” scheme to upgrade presentation facilities, to help people to enjoy visiting museums. This would include things such as developing interactive displays;
- An audience development project and creation of a new gallery at New Walk Museum, “Our Cultures Past and Present”, celebrating the diversity of modern Leicester;
- The development of “Digital Leicester”, a major digital project to give online public access to Leicester’s museum collections, showcase “star items” and link them in innovative ways to the city centre locations in which they were found. Under this programme, items such as the statue of the suffragette Margaret McDonald, which was very fragile, could be pieced together and photographed. The photographs would then be used to create holograms of the item, which could be projected on to a screen, or buildings, (for example to celebrate the anniversary of when women were first able to vote in 1918). This would be a collaborative project, entitled Digital Heritage and Arts Leicester; and
- Work to improve engagement with museums by people living in more disadvantaged neighbourhoods. This would include work with libraries and schools to promote the benefits to health and wellbeing of engagement with museums.

Libraries providing cultural activities also would be able to receive funding under this programme. The Council’s Libraries service already received funding for the Sparks children’s festival, and exhibitions were held in libraries, so the service had been encouraged to submit a bid to the NPO programme.

It was proposed that other projects would include:

- Working with the Libraries service on exhibitions about cultures past and present;

- Health and wellbeing projects, (for example, working with people with dementia);
- Work with Age UK on the Men in Sheds project, including use of the engine shed at Abbey Pumping Station;
- Work with the British Legion on a project for young and older soldiers;
- The Nuts and Bolts project, for older men on the autism spectrum; and
- A theme throughout all of the proposed projects would be Inspiring Youth.

The following comments were then made during discussion on this item:

- 2017 was the centenary anniversary of the Russian Revolution, so it would be appropriate if artefacts relating to Leicester's working class history could be displayed in recognition of this. In the meantime, a new Story of Leicester website was being developed, which would include labour history and connections to working conditions;
- An application had been made for the city's German Expressionist art collection to be designated [*what as? it wasn't stated at the meeting*], but the application had been refused, on the basis that the collection did not have sufficient depth and/or breadth. It was disappointing that the difficult circumstances under which the pictures had been taken out of Germany had not been taken in to account when reaching this decision;
- The way in which the NPO funding application could be made was very prescribed, but any letters or e-mails of support for the application would be included with the submission;
- It was important that tangible outcomes could be identified from any funding received. One aspect of this was the identification of ways to reach out to those currently not engaged in culture, which was an important element of the NPO funding application;
- The city's universities held a lot of material that could be useful in supplementing the Council's collections, (for example, recordings of people providing "living history" records). There also were local people who had access to archives of various sorts; and
- If the NPO funding application was unsuccessful, the projects would remain on this Commission's Work Programme, but could be delivered on a smaller scale or in a different format, depending on what other funding opportunities were available.

AGREED:

- 1) That proposal to apply for Arts Council England National Portfolio Organisation funding for 2018/22 be welcomed and supported; and

2) That the Head of Arts and Museums be asked to:

- a) identify if there are artefacts relating to Leicester's working class history that can be displayed in 2017 in recognition of the centenary anniversary of the Russian Revolution; and
- b) contact the Director of Living History, to enquire whether the Living History records could be used in the National Portfolio Organisation funded programme.

53. JEWRY WALL MUSEUM DESIGN DEVELOPMENT

The Business and Development Manager (Arts and Museums division) gave a presentation on design proposals for the development of Jewry Wall Museum. A copy of the presentation is attached at the end of these minutes.

During the presentation, particular attention was drawn to the following points:

- Jewry Wall Museum currently only received approximately one-tenth the number of visitors that went to the New Walk Museum;
- The acquisition of the former premises of Vaughn College provided an opportunity to undertake much needed development at the Jewry Wall Museum;
- Offices currently situated on the lower ground floor would be moved to the upper floor, to release more space for exhibits;
- Consideration was being given to projecting images relating to the museum on to the wall structure in the evening, but officers were aware of possible highways issues with this, (for example, drivers being distracted);
- It was hoped that the space in which the proposed Vine Street villa display would be located also could be used for events. This would increase awareness of the museum and footfall;
- The potential Phase 2 extension would be in to the undercroft area;
- When final designs were known, costings would be made and applications submitted for planning permission and listed building consent. This was likely to be in late Spring 2017; and
- Following the redevelopment, this would still be classified as a museum, as this would protect the collections and aid funding.

The Commission noted that no decision had been made yet on whether a charge would be made for entrance to the museum, but as considerable investment was being made, and the museum needed to be sustained, the

issue needed to be considered. This meant that, if entry was to be free, it was likely that only cosmetic improvements could be made to the museum.

The Business and Development Manager stressed that it was recognised that the building in which the museum was located was architecturally important. Maintaining its integrity therefore was integral to the project.

In reply to a question, the Business and Development Manager explained that it was anticipated that, if everything went as planned, the redevelopment work would be completed in March 2019. It was anticipated that the displays in the redeveloped museum would start with pre-Roman history and end with post-Roman, as the city's medieval history was already showcased at the Guildhall. The names of real people and properties were known, so these would be incorporated in to the displays.

Costings were being sought for the planned work, but were not available yet. However, re-fitting the museum could cost approximately £2-3 million. In addition, the mechanical and electrical systems in the building were 50 years old, so needed updating, and significant expenditure could be incurred on the technology to be used to enhance the presentation of exhibits. The company working with the Council on this was very experienced and was considering benchmarks of what could be obtained for different levels of expenditure.

There were many stakeholders in this project, varying from the very active archaeology community in the city to various services, societies and organisations, plus stakeholders associated with the building. These all would need to be involved in the project.

Members noted that, if a trust was established to manage the museum, the Council's Museums service would continue to own the artefacts. Other Council's trust arrangements, and those established to run the city's King Richard III Visitor Centre, provided useful examples of how this could be done.

Access to the museum for disabled people currently was problematic. Stair and lift access therefore would be improved as part of the redevelopment and the site would be redesigned to ensure full access throughout. An assessment also needed to be made of whether the car park at the back of the building restricted access for people with disabilities. Officers would continue to work with the Council's Disabled Persons' Access Officer on this.

In addition to access issues, the building's toilet provision for disabled people did not meet current standards. Consideration therefore needed to be given to improvements required to be made to these facilities.

Access to the front of the building also had been considered, including an option to provide a coach drop-off point at the front of the building. Access also could be assisted if the proposal that a zebra crossing be provided from the Holiday Inn car park to where the entrance to the museum would be was implemented, but this was not part of this scheme. The footbridge also was to be replaced with a flat crossing, at ground level, under a separate scheme.

The Commission welcomed these proposals, but stressed the importance of making the museum accessible to everyone in the city, not just those arriving by coach.

Councillor Dawood left the meeting at 6.50 pm, during the above discussion.

AGREED:

That the proposals for the redevelopment of the Jewry Wall Museum be noted and welcomed.

54. ABBEY PUMPING STATION DEVELOPMENTS UPDATE

The Director of City Development and Neighbourhoods submitted a report summarising a number of developments planned for Abbey Pumping Station and setting out the Council's current approach to the site.

In introducing the report, the Director noted that:

- It was important to ensure that sufficient staff and resource time were made available. For example, the artefacts held at the Pumping Station needed to be reviewed and decisions taken on what should be kept there;
- The grounds of the Pumping Station were good, but could be used better. For example, visitors to the neighbouring Space Centre could be encouraged to use the green area around the Pumping Station;
- It was proposed to explore the possibility of moving the café and shop in to the Transport Shed; and
- The Council was working with Leicester University on the neighbouring Space Centre Park. To date, approximately 100 potential investors had expressed an interest in this Park.

Councillor Singh-Johal left the meeting at this point (7.10 pm).

The Commission noted that the Pumping Station currently received approximately 50,000 visitors per year. If a major capital investment was made in the Pumping Station, it would be hoped that this number of visitors could be at least doubled. Various things needed to be done to achieve this, including opening the museum all year.

Members enquired whether the City Council had ownership of any of the Whittle jet engines that previously had been held in county-based storage facilities and requested that they be displayed at the Pumping Station, to broaden the collection held there. However, the Head of Arts and Museums advised that these engines were not owned by the City Council and none had been offered to the city. The Assistant City Mayor for Culture, Leisure and Sport offered to investigate whether one of the engines could be loaned to the city, but felt that this request was unlikely to be agreed.

It was suggested that the opportunity could be taken to rebrand the museum, for example by broadening interest in it through its focus reverting to being a museum of technology. The Director of City Development and Neighbourhoods noted that the development of the museum provided an opportunity to work with the near-by Great Central Railway and Space Centre. This could involve, for example, creating branding around a common theme, such as the story of movement, so that visitors could be encouraged to visit sites with complementary technologies.

Vehicles received from the display at the former Snibston Discovery Museum would be incorporated in to the displays at the Pumping Station, but work was needed to create space for them.

The Head of Arts and Museums advised the Commission that a lot of work was being done to ensure that appropriate languages were being used for heritage interpretation. However, experience showed that English tended to be the language used by visitors as the common language for those whose main languages were different. In addition, specific interpretations sometimes were provided for specific items.

The Assistant City Mayor for Culture, Leisure and Sport thanked the volunteers at Abbey Pumping Station, representatives of whom were present in the public gallery, for their hard work in maintaining the exhibits. This was endorsed by the Commission.

AGREED:

- 1) That the developments planned for Abbey Pumping Station and the Council's current approach to the site be noted; and
- 2) That the Assistant City Mayor for Culture, Leisure and Sport be asked to investigate whether one of the county's Whittle jet engines can be made available for display in the city, preferably at the Abbey Pumping Station, to broaden the city's range of transport exhibits.

55. UPDATE ON THE TASK GROUP REVIEW OF THE ROLE OF THE ARTS AND CULTURE IN DELIVERING MENTAL HEALTH AND WELL-BEING OUTCOMES

The Chair gave a verbal update on progress with the Task Group review of the role of arts and culture in delivering mental health and well-being outcomes.

He advised Members that the Task Group had met once and was scheduled to meet again on 26 January 2017, when it would be hearing evidence from a range of stakeholders. The meeting would be based on the theme of "activities in communities", to reflect the need for mental health benefits that were associated with the arts to reach residents who lived in the city's outer estates, where accessibility and uptake was low.

Key points to arise from the Task Group's work to date were:

- When talking about the prevention of mental health problems, it was important to start with children and young people. This helped to stop issues later in life becoming more profound;
- There was a need to target and protect children's mental health, including through working with, and in, schools. In this respect, it was being suggested that the Task Group could try to identify a vision for better mental health in schools;
- There were many arts groups in the city that were working on limited resources to try to achieve the same health and wellbeing outcomes;
- There had not been evidence so far that the Council had a holistic strategy for the use of the arts to improve the mental health and well-being of residents. The Task Group therefore aimed to establish the foundations for developing such a strategy; and
- Given the evidence of their impact on users, future arts and health projects needed to be sustainable and not restricted to limited funding arrangements.

The Commission questioned whether the statement that the Council did not have a holistic strategy for arts and culture was accurate, as a strategy had been included in the Council's bid to be the 2017 City of Culture.

AGREED:

That the Scrutiny Policy Officer be asked to submit the strategy for arts and culture included in the Council's bid for 2017 City of Culture status to the Task Group reviewing the role of arts and culture in delivering mental health and well-being outcomes, to consider whether that strategy provides a suitable basis for the development of a strategy directed at the use of the arts and culture to improve the mental health and well-being of residents.

56. GENERAL FUND REVENUE BUDGET 2017/18 TO 2019/20

The Director of Finance submitted a report setting out the City Mayor's proposed budget for 2017/18 to 2019/20.

The Director of Tourism, Culture and Inward Investment introduced the elements of the report relating to his service area, explaining that savings of

approximately £1.5 million needed to be made by 2020 from across the Tourism, Culture and Inward Investment division.

Consideration was being given to how this would be achieved, but it was hoped that increased income, rather than reduced expenditure, would help the division meet this target. For example, things such as increased sponsorships, the transfer of the management of assets, income generation throughout the service and revenue savings at De Montfort Hall following recent capital investment there could be used.

The Assistant City Mayor for Culture, Leisure and Sport noted that savings also needed to be made in relation to Parks and Open Spaces, which it was hoped could be achieved largely through remodelling the grounds maintenance budget. In addition, a review of Sports Services was being undertaken, which needed to identify £2 million of savings. No decisions on where the savings would be made had been taken to date.

Concern was expressed that it was proposed that Western Park would no longer be entered for a Green Flag award. As well as impacting on the standard to which the park was maintained, the loss of Green Flag status could restrict the ability to apply for certain funding, (such as Heritage Lottery grants).

In reply, the Assistant City Mayor for Culture, Leisure and Sport advised the Commission that the costs of retaining Green Flag status included an entry fee of approximately £4,000 per park, plus an assessment fee and maintenance costs. In addition, maintaining the records of the Green Flag parks took a lot of officer time. Three parks would continue to be entered for Green Flag status. These included Abbey Park, which was felt to be a “city park”, due to the number of events held there throughout the year.

The Commission noted this response, but stressed that, where investment was being made, care needed to be taken to ensure that it was spread evenly across the city and not focussed in segregated areas, which could lead to some areas receiving more investment than others.

The Assistant City Mayor for Culture, Leisure and Sport offered to keep the Commission advised of progress with spending reviews and to keep Members updated on identified issues of concern.

AGREED:

- 1) That the report be noted;
- 2) That the Overview Select Committee be asked to take account of the comments made by this Commission in its consideration of the General Fund revenue budget for 2017/18 to 2019/20; and
- 3) That the Assistant City Mayor for Culture, Leisure and Sport be asked to keep the Commission advised of progress with spending reviews of services falling within the Commission’s remit.

57. WORK PROGRAMME

The Commission received and considered its current work programme.

A suggestion was made that updates on the development of wedding facilities at Belgrave Hall and New Walk Museum could be included in the work programme. It was agreed that this should wait until later in the year, when other developments at these sites had been completed, so that a full update on improvements could be given.

Members also asked that a report on the introduction of a policy on when flags should be flown on Council buildings be included in the list of suggested items.

Members noted that the suggested item of a report on the European City of Culture bid would be removed from the work programme. The Council would not be making a bid for this, as it would cost a lot more to make the bid than it had to bid to be the United Kingdom City of Culture.

AGREED:

That the Scrutiny Policy Officer be asked to update the Commission's work programme as set out above.

58. CLOSE OF MEETING

The meeting closed at 7.55 pm

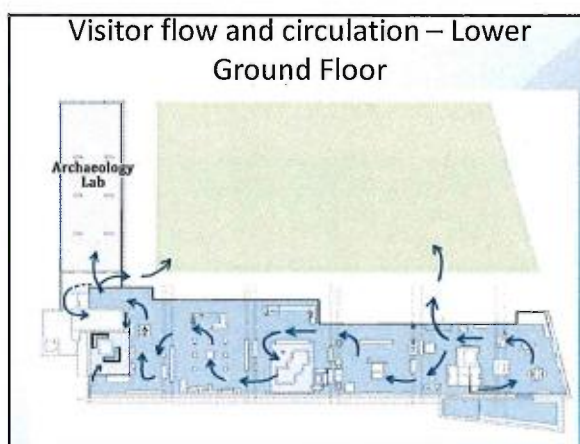
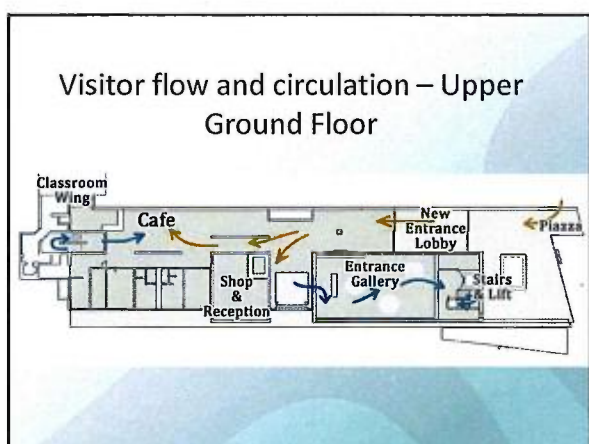
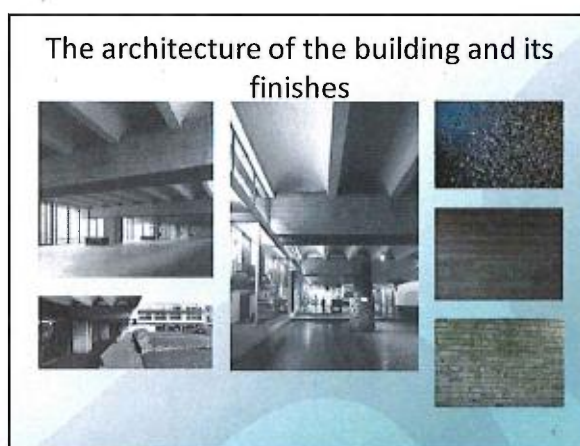
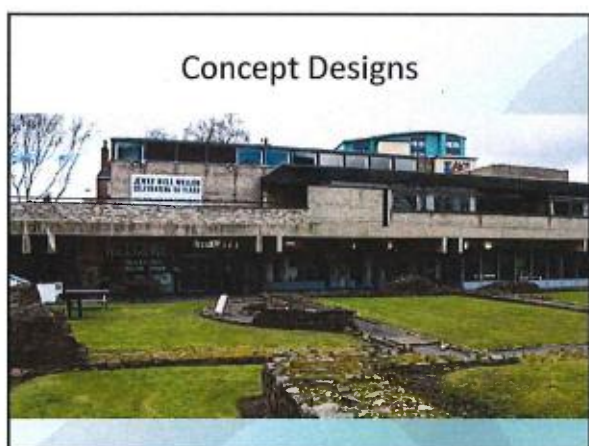
Jewry Wall Museum

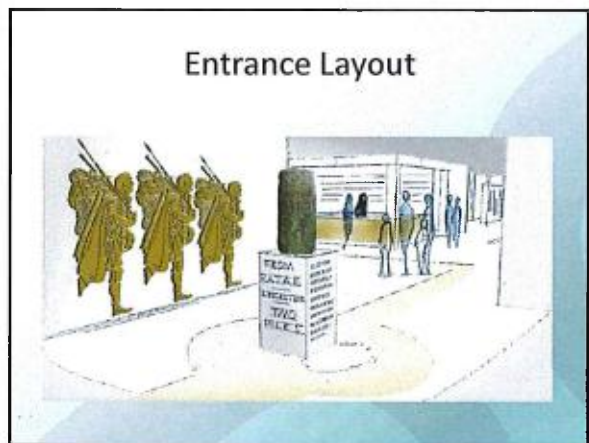
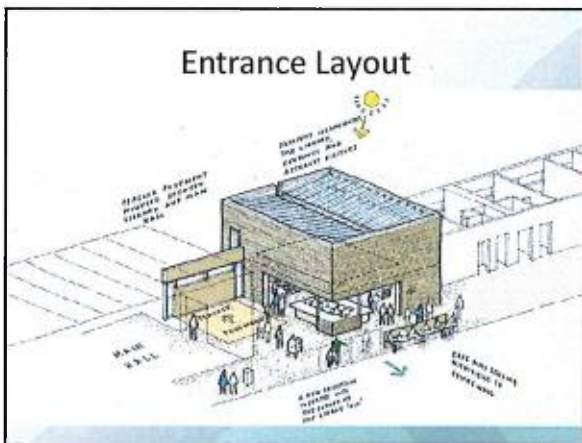
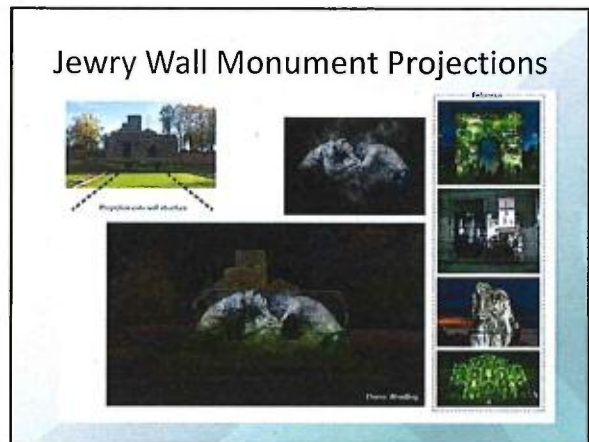
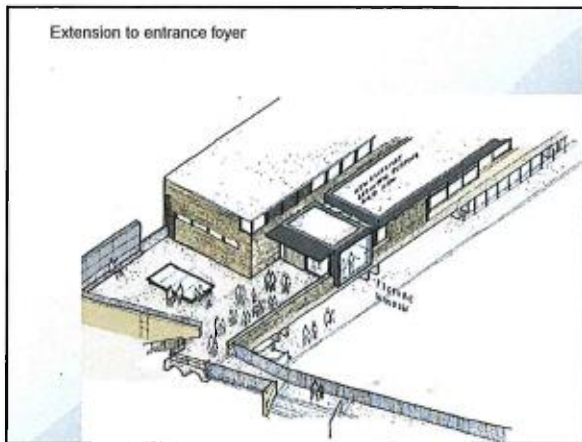
Heritage, Culture, Leisure and Sport Scrutiny Commission

12th January 2017

Nisha Popat
Business & Development Manager

- Background
- Current Situation
- Concept Designs
- Next Steps





Next steps

- Consultation with stakeholders
- Finalisation of plans (RIBA Stage 3) in late Spring 2017 including all costings (to include building renovations and new work requirements)
- Approval of spend
- Planning application



Church Gate Conservation Area

For consideration by: Heritage, Culture, Leisure and Sport
Scrutiny Commission

On: 7 March 2017

Lead director: Andrew Smith

Useful information

- Ward(s) affected: Castle
- Report author: Sam Peppin Vaughan
- Author contact details: 0116 454 2973

1. Purpose of report

To present proposed new guidance for the Church Gate Conservation Area including proposed boundary changes and new management plan.

2. Summary

The Church Gate Conservation Area has been reviewed and a revised Character Appraisal and new stand-alone Management Plan have been produced and are currently out to public consultation. These are attached at Appendices 1 and 2 respectively.

3. Recommendations

Scrutiny is requested to note the contents of this report, and is invited to provide comments on the Appraisal and Management Plan during the consultation period, (ending on 12th March).

4. Report/Supporting information including options considered:

Copies of the consultation documents can be downloaded from the Consultations Section of the City Council's website.

5. Financial, legal and other implications

5.1 Financial implications

No significant financial implications are expected to arise from this new guidance.

Colin Sharpe, Head of Finance, ext. 37 4081

5.2 Legal implications

Changes to conservation area boundaries and the requirements regarding their management plans are dealt with under Part II of the Planning (Listed Buildings Conservations Areas) Act 1990 ('the Act').

The development and ultimate adoption of the proposed management plan will ensure that the Council complies with its obligations as the local planning authority under the Act:

- publish proposals for the preservation and enhancement of the conservation area
- pay special attention to the desirability of preserving or enhancing the character or appearance of conservation areas when exercising their powers under any of the other Planning Acts.

Subsequent to its adoption all planning applications should be assessed for their impact upon the conservation area and applications considered in light of the management plan.

As noted in the report the Council is meeting its obligation to requirement under consult the local community about any management proposals for the conservation area prior to its adoption.

In relation to the proposed changes to the boundary of a declared Conservation Area, the Council will need to comply with the statutory procedure for designation of and changes to areas under Part II of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended).

Emma Horton, Head of Law (Commercial, Property & Planning) ext 37 1426

5.3 Climate Change and Carbon Reduction implications

There are no significant implications in the report for city-wide carbon emissions.

In relation to the Council's objective for adapting the city to the impacts of climate change, it should be noted that the presence of trees can help to moderate the 'urban heat island effect' and the impact of heatwaves. Insofar as the proposals contribute to protecting existing mature trees, notably in the Quiet Zone, and to securing appropriate new planting, they will therefore make a positive contribution to climate change adaptation.

Duncan Bell, Senior Environmental Consultant. Ext. 37 2249.

5.4 Equalities Implications

The vision for the area as stated in the draft management plan is to "provide an interesting commercial and residential environment, which is both commercially successful and a beautiful place to live, work and visit." Given its proximity to the city centre, this area provides an excellent opportunity to promote community cohesion whereby different people can come together within a fixed area and interact with each other – either by using the range of commercial premises available or living within the residential properties located in the area. This vision for Church Gate Conservation Area is in keeping with the 3rd aim of our Public Sector Equality Duty, fostering good relations between different groups of people.

Irene Kszyk, Corporate Equalities Lead, ext 374147.

5.5 Other Implications (You will need to have considered other implications in preparing this report. Please indicate which ones apply?)

N/A

6. Background information and other papers:

6.1 Conservation areas are designated by a local authority where an area's special architectural or historic interest is thought important enough to preserve or enhance. It is good practice to define this special interest in a conservation area appraisal, outline how these areas will be managed to protect them and also identify opportunities for enhancement.

6.2 The Church Gate conservation area was designated in 2006 and an accompanying conservation area appraisal was prepared. Since then, a number of buildings have been lost to fire and there has been a general decline in the historic character of the area. It is currently designated as being 'at Risk' on Historic England's Heritage at Risk register.

6.3 These documents seek to update this appraisal to account for recent changes and to try to help arrest the recent decline. It is proposed to contract the boundary of the conservation area to remove the area around Short Street, as it is no longer of conservation value.

6.4 The character appraisal is now more in depth and sets out more specifically what is the special character of the area and what is important. The new management plan gives practical advice as to how developments can be carried out sensitively and identifies a number of ways the area can be enhanced in line with its historic character.

6.5 It is intended that production of this guidance will help reinforce the city council's commitment to conservation in the area and help tackle unlawful development in the area as well as helping engage with property and business owners as to how the area can be improved.

7. Summary of appendices:

Appendix 1 – Draft Church Gate Conservation Area Character Appraisal

Appendix 2 – Draft Church Gate Conservation Area Management Plan

8. Is this a private report (If so, please indicated the reasons and state why it is not in the public interest to be dealt with publicly)?

No

9. Is this a "key decision"?

No

10. If a key decision please explain reason

N/A

CHURCH GATE CONSERVATION AREA

Draft Character Appraisal

January 2017



CHURCH GATE CONSERVATION AREA

Draft Character Appraisal



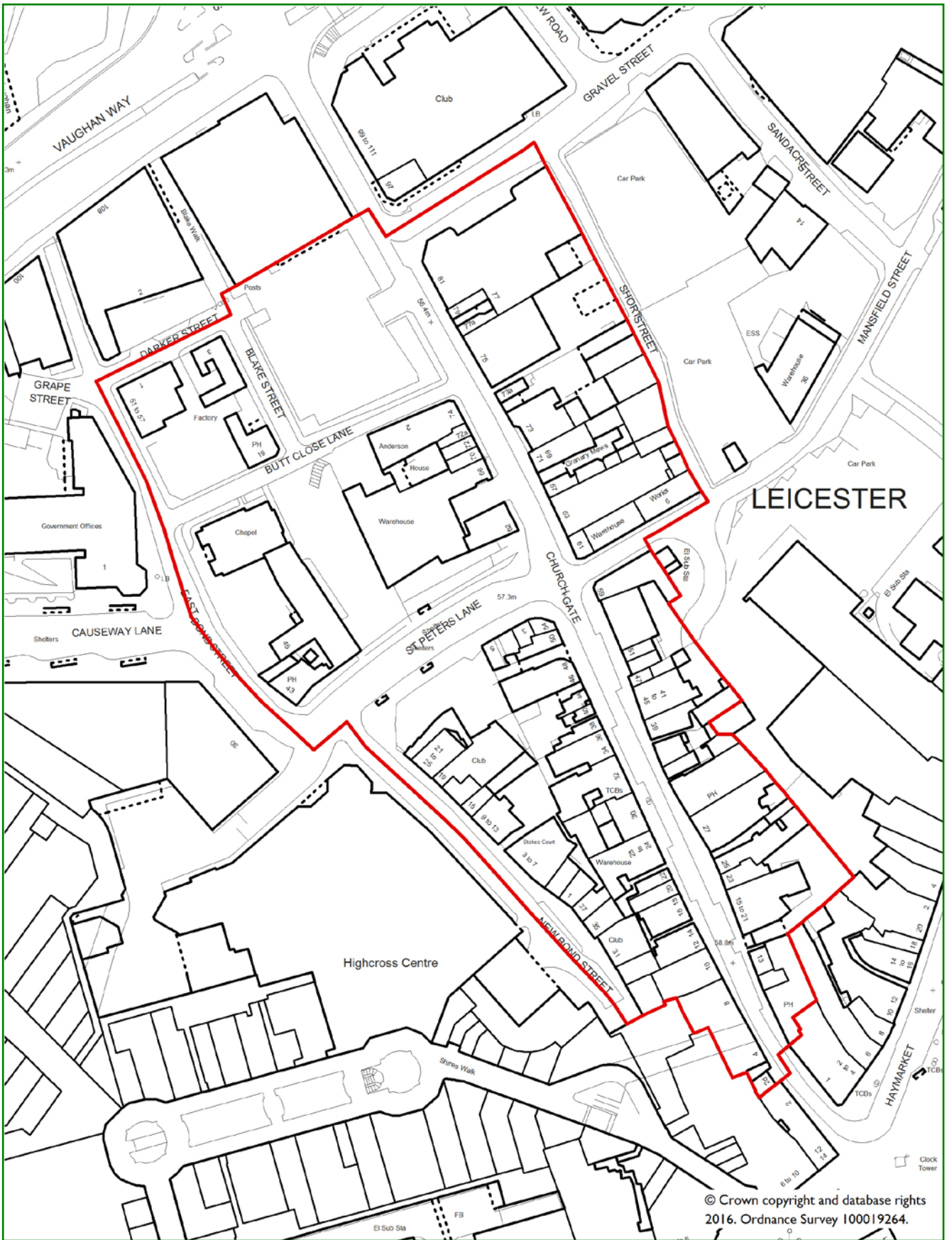
(Draft Revised Church Gate Conservation Area Appraisal, September 2016)



Leicester
City Council

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Map 1. Boundary of the Conservation Area

I.0 Introduction

I.01 Church Gate and its surrounding area has been close to the heart of the historic city since Roman times. From forming part of a route along the old City Walls to its current role as a bustling shopping street, it has been in continuous occupation ever since.

I.02 Church Gate is one of the few thoroughfares into the city which both was not significantly redeveloped in the Victorian era or twentieth century and as such gives a unique snapshot into the historic development of the city. It also contains a number of interesting buildings and spaces and provides a historic framing of the tower of St Margaret's Church in the distance. It was designated as a Conservation Area in 2006 to help preserve its distinct character.



Church Gate looking towards City Centre

I.03 Being a bustling commercial area, there has been continuous development pressures and changes in the area including the sad loss of some historic buildings and the development of the adjacent Highcross Shopping Centre. As such, the City Council has decided to review the appraisal and draft a new stand-alone management plan to set out the unique, historic character of the area and provide guidance for property owners and people with an interest in land within the area.

I.04 The purpose of this Character Appraisal is to set out and define the character of the Church Gate Conservation Area to help improve understanding of the historic importance of the area, how this has shaped its unique character and how this can guide the future development of the area.

I.05 The new Church Gate Management Plan, published in conjunction with this character appraisal contains advice and guidance on how new development should take account of the conservation area.

2.0 Planning Policy Framework

2.01 Protection of the historic environment is extensively recognised for the contribution it makes to the country's quality of life, cultural capital and economic well-being. Public support for conservation areas as distinctive places that give identity to people and communities is well established. Legislation and policy guidance reflects this.

2.02 The concept of 'conservation areas' was first introduced by the Civic Amenities Act 1967 which defined a conservation area as 'an area of special architectural or historic interest the character or appearance of which it is desirable to preserve or enhance.' It is not the purpose of a conservation area to prevent change but to manage change in ways that maintain and strengthen an area's special qualities.

2.03 The definition remains unchanged in current legislation, set out in the Planning (Listed Buildings and Conservation Areas) Act 1990. The Act places duties on local planning authorities:

- To identify those parts of their area that are of special architectural or historic interest and to designate them as conservation areas;
- To review past designations from time to time;
- To prepare proposals for the preservation and enhancement of conservation areas;
- To pay special attention to the desirability of preserving and enhancing the character and appearance of conservation areas when determining planning applications for sites within such areas.

2.04 The effect of designation means that planning permission is required for the demolition of buildings, with some minor exceptions. There are also stricter controls on changes that can be made to buildings and land, and there is automatic protection for trees.

2.05 Government policy is provided in the National Planning Policy Framework (NPPF). It requires the significance of heritage assets – both its historic buildings and historic areas – to be understood by local authorities and by those who propose change. Changes that cause harm to significance will only be permitted where the harm is outweighed by public benefits. Further guidance on the use of the NPPF is provided in the National Planning Practice Guidance and in guidance published by Historic England.

2.06 The protection and positive use of the historic environment within new development is a theme which runs through the City of Leicester Core Strategy. It is identified as a key component in spatial objectives 7 and 9. This is strengthened in a number of policies (see appendix 4). The Core Strategy also makes an explicit commitment to the preservation and enhancement of Leicester's heritage in Spatial Objective No.10. This is amplified in a wide-ranging policy (CS18) for the protection and enhancement of the historic environment. There is a general presumption against the demolition of buildings that make a positive contribution to the character or appearance of a conservation area, and the policy expects new developments and conservation-led regeneration to reflect the character and value of the historic environment. Both local and national policy puts the emphasis on the enhancement of heritage assets and positive contribution to local character and distinctiveness that should be made through new development.

3.0 Location & Boundary Review

3.1 Location

The Church Gate Conservation Area (Map 1) is located in the City Centre immediately to the north-west of the Clock Tower. It comprises Church Gate itself and is bounded on the west side by East Bond Street, to the north by Darker Street, Butt Close Lane and Gravel Street and by Short Street/Mansfield Street to the east. It covers an area of 3.12 hectares.

3.2 Boundary Review

The original boundary was set as part of the designation of the conservation area in 2006, it has not been reviewed since.

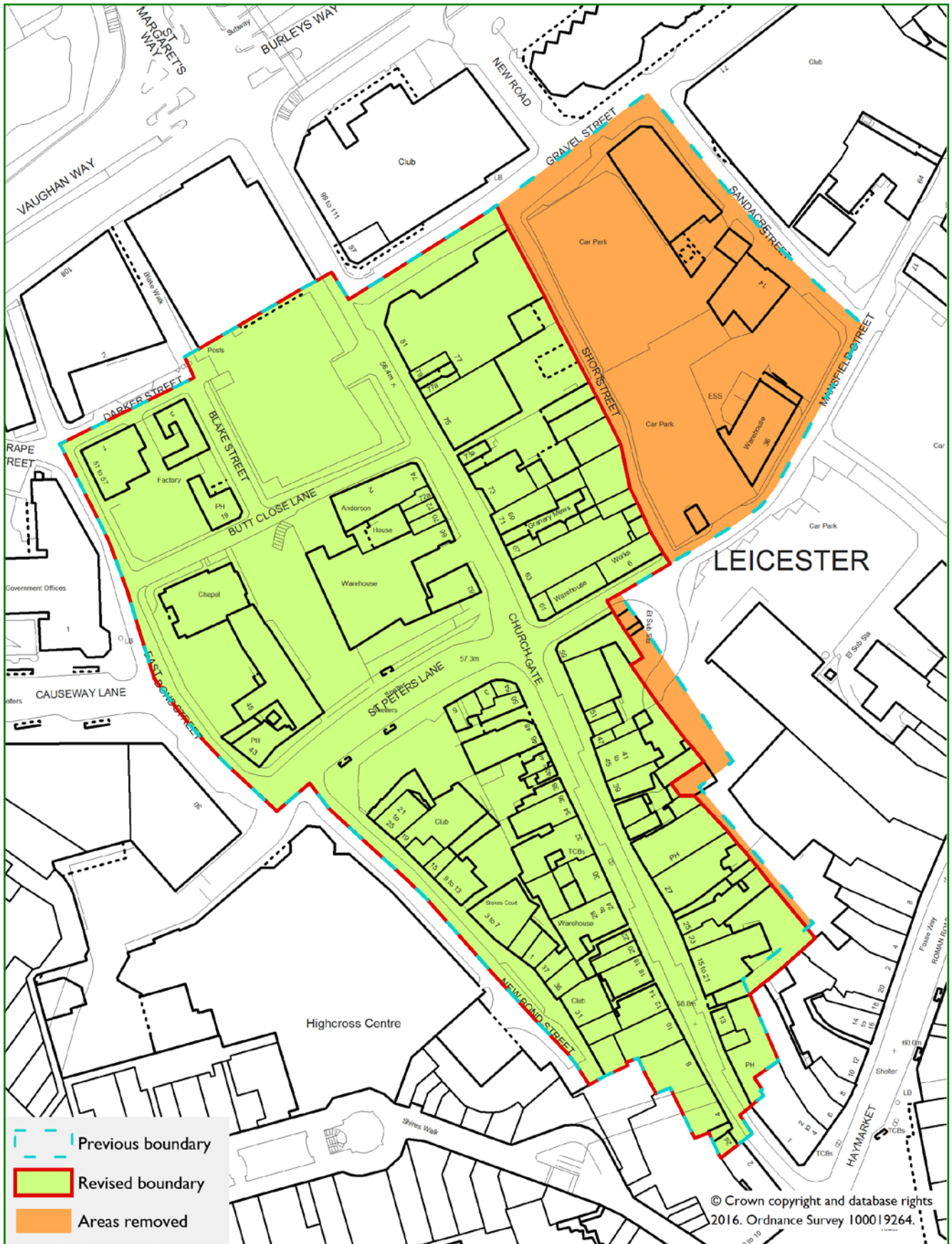
Since 2006 there has been a loss of the majority of the buildings in the formerly identified 'Industrial Zone' around Short Street. Sadly, the special character of this area is now lost to the point it no longer justifies special designation. As such it is proposed to remove this area from the Conservation Area.

The only other changes to the boundary relate to the tightening of the eastern boundary of the area to better reflect current and historic property boundaries.



Victorian Porch to the Great Meeting House.

A summary of changes to the boundary and can be found in appendix II.



Map 2. Changes to the Boundary of the Conservation Area

4.0 Definition of Special Interest

4.01 The Church Gate Conservation Area has a unique character within the City Centre of Leicester as it shows within its building stock, the development of part an important city thoroughfare from the Medieval Era to the present day. It shows how the importance of the route grew and waned and the different pressures put on the land within the area as the city grew and developed.

4.02 The building stock is less grand than many other City Centre streets, which in itself is interesting and as worthy of preservation. It shows how previous generations adapted and modified existing building for contemporary purposes and the increasing importance of industry and manufacturing to the city as well as housing for the workers.

4.03 Most of the streets have medieval origins but the majority of buildings date from the 19th century onwards, but there are some earlier known survivors and other buildings which may also preserve earlier elements hidden beneath later fabric. Although there has been some redevelopment, a number of historic buildings survive, often in groups, and it is the contribution of these groups of sometimes modestly designed buildings that helps create a distinctive townscape.

4.04 Along Church Gate and East Bond Street, the variety in the height and scale of the buildings creates strong visual interest and reflects the piecemeal development of the area over the past three centuries. Ranging between two and four-stories, the changes in roof lines and chimney heights create a varied, almost jumbled, skyline, with gable ends alternately visible. This is one of the area's strongest visual features.

4.05 As the area has developed organically, many of the building plots are irregular in size, some being quite deep. There are a number of outbuildings and former workshops at the rear of properties some of which are not readily visible from the street, while others can be glimpsed or accessed as small courtyards further adding to the area's character.

4.06 The remnants of the area's medieval origins can be seen in Church Gate and New Bond Street where many buildings still stand on the narrow plots that were a feature of urban form at that time. Traditionally an area of small businesses, the Conservation Area has nevertheless managed to retain that character. The few, more grandly designed, former industrial buildings that punctuate the street are now converted, horizontally and vertically, for shops and service uses. Generally, however, businesses remain small scale or specialist in nature.

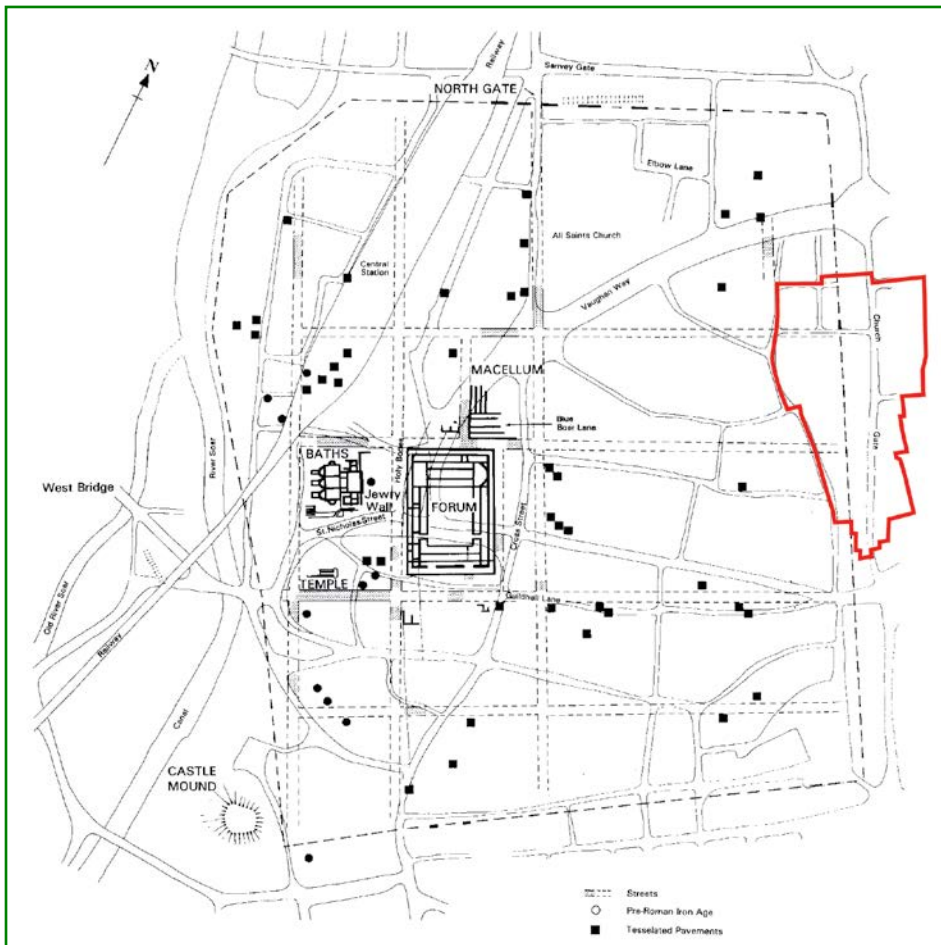
4.07 The area's special interest can be defined as follows:

- The area is of historic and archaeological importance, particularly as it relates to Leicester's early suburbs and the Roman and medieval town and represents the best surviving fabric of the former historic route from North to East Gates outside the City Walls;
- The area retains elements of its medieval character with narrow burgage plots set at the back of the footpath, as well as the narrow and sinuous character of the streets. The historic view of the tower of St Margaret's Church still defines the street of church gate looking north;
- The surviving building fabric within the area represents a rare surviving fragment of a wider area north of the city centre, much of which has been lost of twentieth century redevelopment;
- The area includes several listed buildings, including one of the town's earliest brick buildings (the Great Meeting Chapel) and an unusual timber warehouse (66 Church Gate) and a the Master Hosier's House a rare survival in the development of the hosiery industry which once defined the city; and
- It has historically interesting and important open spaces including one of only a few surviving churchyards in the city centre and the site of the former archery butts. The open spaces provide some of the most important green space and mature trees within the City Centre.

5.0 Historic Development of the Church Gate Area

5.01 Early Origins

The earliest history of the area can be traced back to Roman times when the layout of the town's defences were first established and lay just to the west of the present day Church Gate. When they were first established, in the late 2nd century, they took the form of an inner rampart with an outer ditch. By the height of the Roman occupation, in the late 3rd century, a wall had been added to the outer face of the rampart and a second ditch dug beyond the first. As the town in the interior began to be abandoned, from the mid-4th century onwards, the defences fell into disrepair.



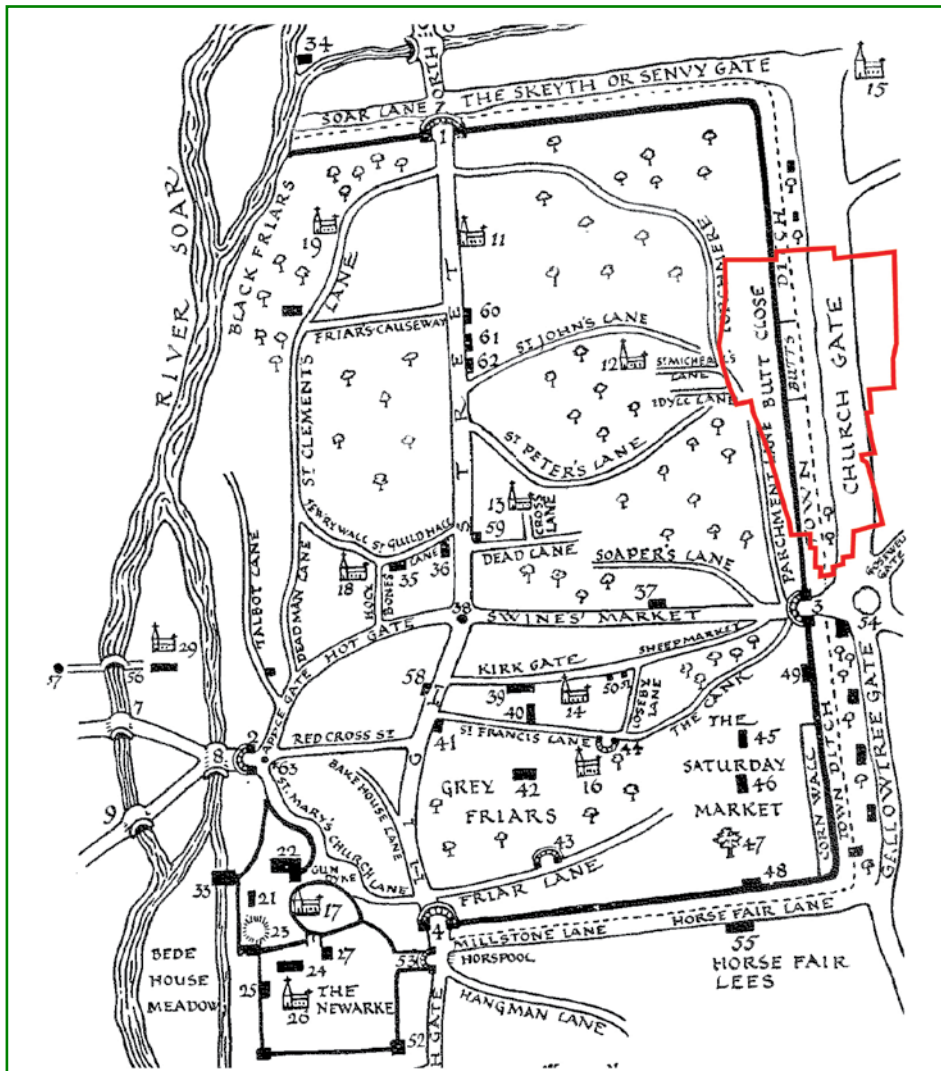
Map 3. Roman Town: John Wachter

5.02 It is likely that the town only began to be re-occupied in the 7th or 8th century, by which time Leicester was a part of the Saxon Kingdom of Mercia. Sometime afterwards efforts were made to re-establish the town defences. Whatever measures were taken to maintain the defences, they were insufficient to ward off the Danes, so that by the late 9th century the Danes held the town as one of the Five Boroughs that dominated the East Midlands until the early 11th century. It was probably during this time that the first church was established beyond the north-eastern corner of the town defences. It is not clear why a church came to be founded in this unusual location, but the present church of St Margaret stands on a similar location and is almost certainly one of the churches listed under the various entries for the town in the Domesday Book.

5.03 The name Church Gate likely dates back to the Danelaw. The 'Gate' in 'Church Gate' derives from the Danish word 'gata' for "road". The road itself originated as a lane that ran just outside Leicester's eastern boundary walls and linked St Margaret's Church with the town's East Gate. After the Norman Conquest in the 11th century the bishopric moved from Dorchester back to the East Midlands but centred on Lincoln. However, the Domesday survey records that the Bishop of Lincoln retained two churches in Leicester, one of which may well have been St Margaret's.

5.04 Medieval Era

A suburban extension of the town in the Church Gate area is documented from the late 13th century and tenements are recorded abutting the town walls and ditch in the late 14th century, although the extent of the development is not known. For most of the Middle Ages the town defences were kept in good repair but extra-mural (outside the walls) suburbs began to develop centred on the market that had sprung up just outside the town's eastern gate. One of these suburbs began to spread northwards, to the east of the town defences. From the 15th or 16th century onwards, save for a brief period of restoration during the Civil War, the town defences again fell into disrepair.



Map 4. Medieval Leicester

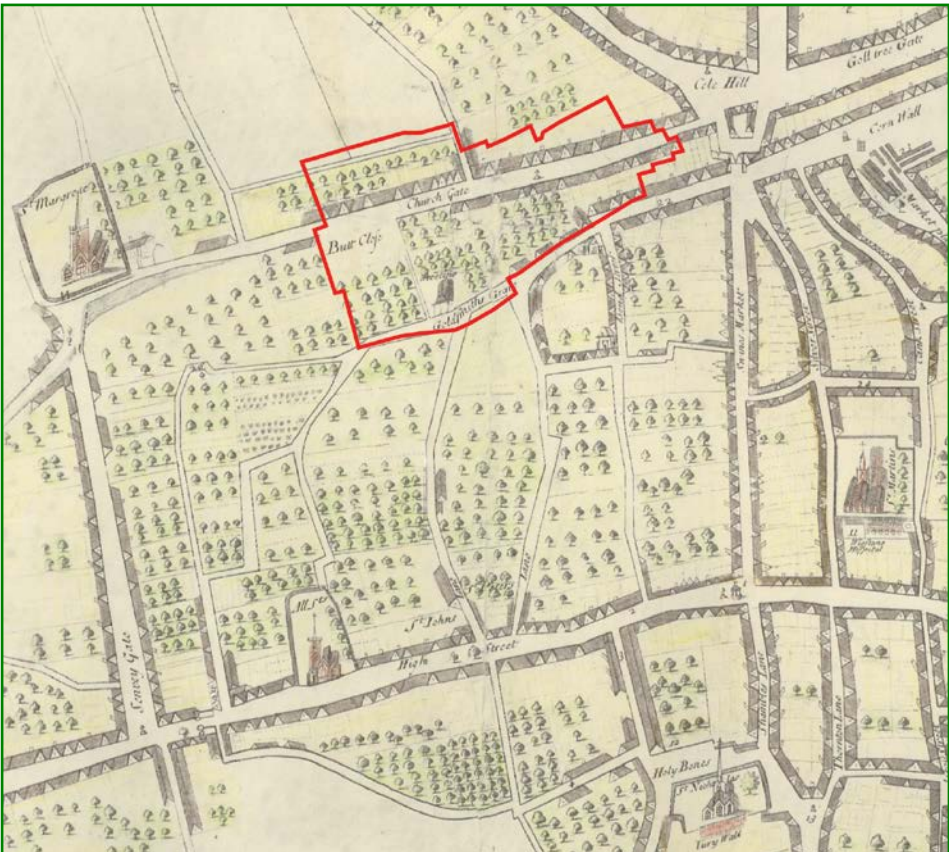
5.05 In 1493 a King's commission records that the wall was broken and that stones had been removed. It is likely that at that time the ditches were being filled in and that buildings were being built on top of them. People in search of building stone would rob it from the town wall and the owners of properties within the town were starting to encroach onto the rampart. But this time the decline of the defences went hand-in-hand not with a period of decline, but with one of steady growth. In 1478 the first written reference to the name "Church Gate" is found, when it was recorded as a lane leading onto Sanvey Gate, which ran east-west just outside the north wall

5.06 16th to 18th Centuries

5.07 In the 16th century Elizabeth I had donated an area of open land to the freemen of Leicester for archery practice. On this 'butts' or shooting marks were erected and the

activity is recorded in the name Butt Close Lane which now approximately runs along its southern edge. The space where the archery range was located survived until the early 19th century. A survivor from the 18th century is No. 11-13 Church Gate (the date 1711 can be seen at first floor level) and indicates the modest scale of development on Church Gate at that time.

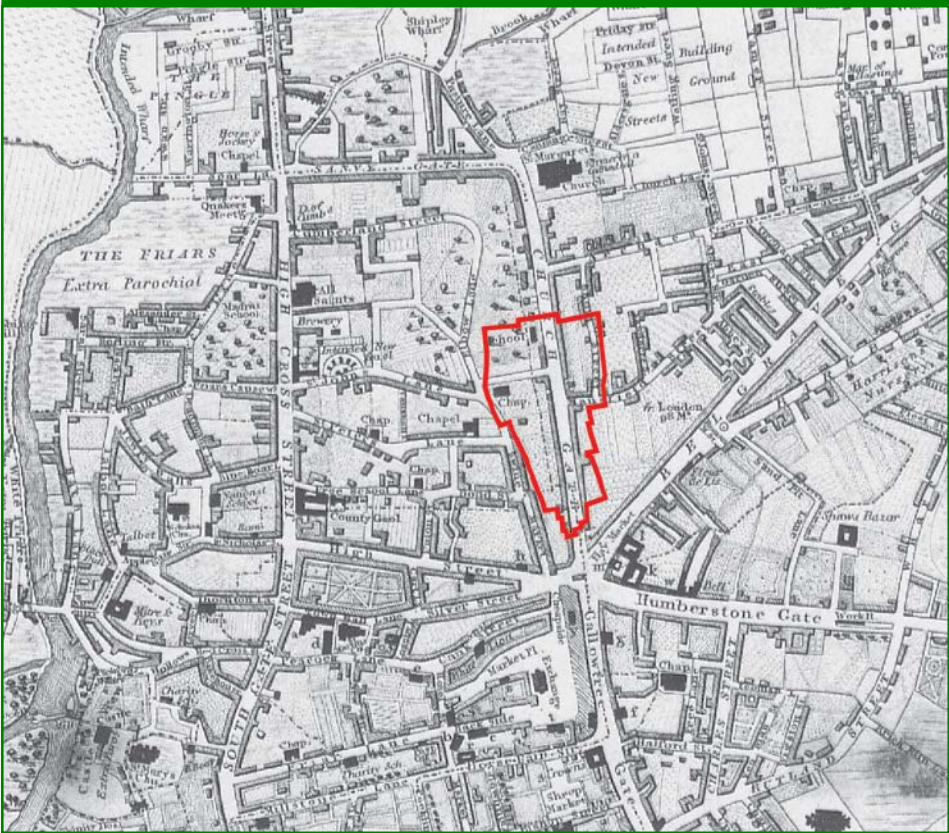
5.08 By the 18th century, and due primarily to the restriction created by the East Gate, Sanvey Gate and Church Gate had become the main coach route into the town from the north. For example, the former Fish & Quart Hotel (now 63 Church Gate) originated as a coaching inn. Leicester was still a relatively small town and there was little incentive or need to build on its more unattractive parts, such as Church Gate. An important exception was the construction in 1707



Map 5. Roberts Map of 1741

of the Great Meeting Chapel on East Bond Street. It is possible that East Bond Street (or “Goldsmith’s Grave” as it is shown on Roberts’ map of 1741 (Map 5)) was chosen because non-Conformists, with their radical political and religious views, had to maintain a discreet presence in the town. A ‘backland’ site would have been seen as an ideal location.

5.09 Roberts’ map also indicates that most of the northern half of the walled town consisted of open land. A single row of buildings fronted onto the southern end of Church Gate and East Bond Street (then known as Swine Market) with back lanes leading into open land, possibly laid out as orchards and gardens.



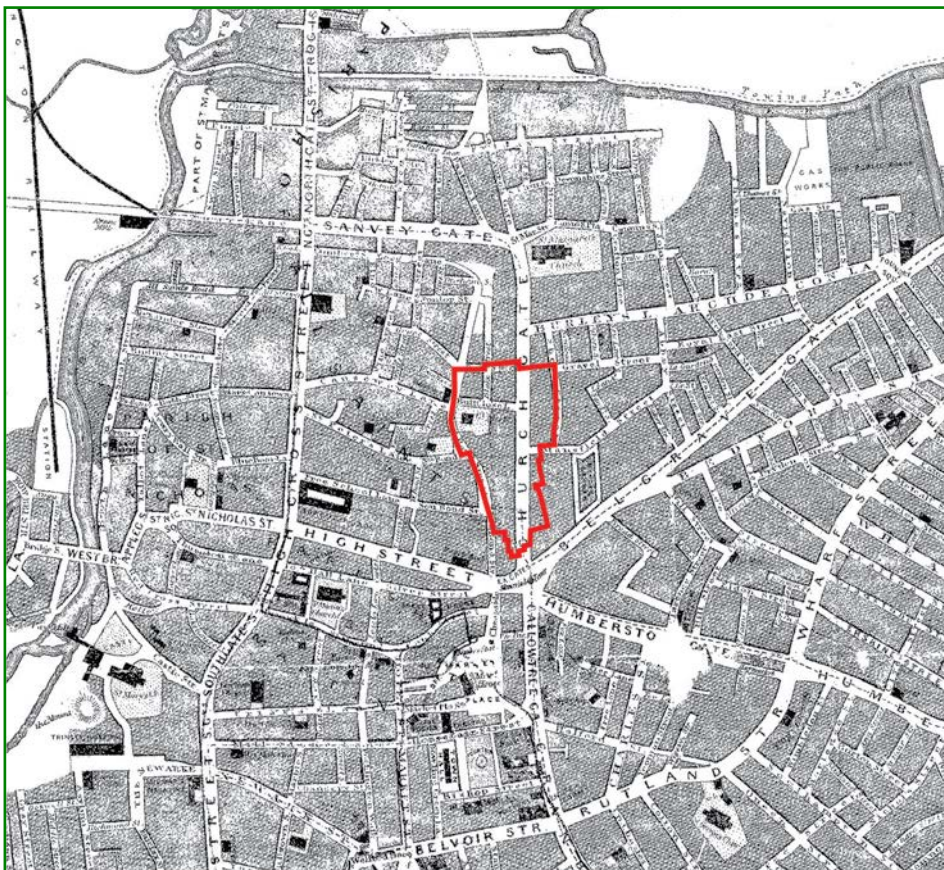
Map 6. Fowlers Map of 1828

5.10 By the time the East Gate was finally removed in 1773 the centre of the town had gravitated from the High Cross towards East Gates and Church Gate. The improvement of the Harborough Turnpike route to London, which ran via Gallowtree Gate, had also encouraged development at the southern end of Church Gate. The site of the present Clock Tower was therefore a major junction. Originally a mound known variously as the Berehill or Berehill Cross (medieval) or the ‘Barrell Crosse’ (Speede’s map of 1610), the 1741 map shows a group of buildings (Coal Hill) in the centre of the crossroads, just outside the East Gate. Assembly Rooms with shops on the ground floor (referred

to historically as the “Old Haymarket”) were built on the site in 1750 and these were not demolished until 1862 when the building became too much of an obstacle to traffic; it was replaced by the Clock Tower in 1868. The 1741 Map shows that while Church Gate and Sanvey Gate are routes, they are not as important as Highcross Street and High Street, which have buildings all the way along.

5.11 Although the street pattern had been established, there was still only a limited amount of development in the area at the beginning of the 19th century. Fowler’s map of 1828 (Map 6) shows a single line of buildings fronting Church Gate, with back lanes and open land to the rear. St Margaret’s Church still stood in open fields. Many of the properties on the east side of Church Gate, notably beyond Mansfield Street, still reflect the burgage plot layout with a narrow plot and outbuildings accessed by a rear lane. Apart from Great Meeting house, the only other building that is identified is St Margaret’s church school, built on the site of the archery butts in 1809 (and demolished in 1928). However, development had commenced to the east of Church Gate along Archdeacon Lane and the first buildings along Mansfield Street can be identified at this time.

5.12 By 1828 Fowler’s map (Map 6) shows the importance of Church Gate as a thoroughfare, showing it as longer and wider than the High Street. Church Gate, uniquely for a thoroughfare, did not extend directly out of the city at this point, instead, the route north took a right-angled turn along Sanvey Gate towards the North Gate which was the main river crossing. This also shows that as the town grew in the later Georgian era the importance of Church Gate as a thoroughfare also grew, most likely as a less inhibited transport route than the medieval Highcross Street. The surrounding area to the north has yet to be developed being shown as open pastures and orchards.



Map 7. Spencer’s Map of 1879

5.13 Victorian Era

The growth of the boot and shoe and hosiery industries from the 1830s onwards led to the expansion of Leicester and the widespread development of the area. The majority of buildings in the conservation area date from the 1840s onwards. The hosier’s house and workshop at 3 Darker Street dates from this period and is a rare example of the small-scale industry that dominated the town until it was gradually out-competed by larger factories. Spencer’s map of 1879 (Map 7) suggests that land on either side of Church Gate had now been developed.

5.14 With the development of industry, development pressure increased for both industrial premises and for housing to accommodate the influx of workers arriving from

the countryside. Evidence of this can be seen to the east of Church Gate, where a largely lower working class district developed around Burleys Lane, with numerous small and cramped housing courts.

5.15 The increase in plot density can also be seen on Church Gate with the factory at the rear of 39 Church Gate and the courtyard of buildings at the rear of 67-71 Church Gate. The 1886 Ordnance Survey Map (Appendix III) shows that larger scale industrial uses had become established in the area. These included hosiery and footwear, some of which buildings survive, as well as heavier industrial works. The west side of Bond Street was dominated by Fielding Johnson's Bond Street Mills, which remained until the early 1970s. Surviving industrial buildings include those at 30 and 32 Church Gate as well as 75 and 74-76 Church Gate.

5.16 Earlier industrial buildings were built solely as factories, but later ones incorporated retail units on the ground floor.

5.17 Trade directories and the 1st edition (1886) of the Ordnance Survey (Appendix III) provide more detail and indicate a number of small-scale commercial businesses operating along Church Gate, most likely with the proprietor living above.

There were also a number of inns and workshops and some housing courts to the rear. A horse tramway was laid along Church Gate in 1875 reflecting its importance as a route. In 1902, a scheme to widen and upgrade the High Street was completed; it was substantially rebuilt as a grand shopping street incorporating the new electric trams. This diminished the importance of Church Gate as a route. Further to this, the rapid suburban expansions of the Victorian era increasingly attracted trade and investment to the arterial routes, particularly around the railway terminals; Church Gate gradually lost its importance as a city thoroughfare but remained an important shopping street.

5.18 Of the other streets in the Conservation Area, Butt Close Lane is shown simply as a lane on Roberts' plan of 1741. It cuts across the line of the town wall and ditch, which today is marked by the rise in level. By 1886 there was a terrace of buildings along the whole of the north side, of which only The Salmon public house at the corner of Blake Street now survives. On the south side, the burial ground of the Great Meeting Chapel now provides the only open space in the area. On the east side of Church Gate, Mansfield Street is shown as a lane within open land on the 1741 plan, but is named on the 1828 map, with buildings shown along the north side.

5.19 Twentieth Century into the new Millennium

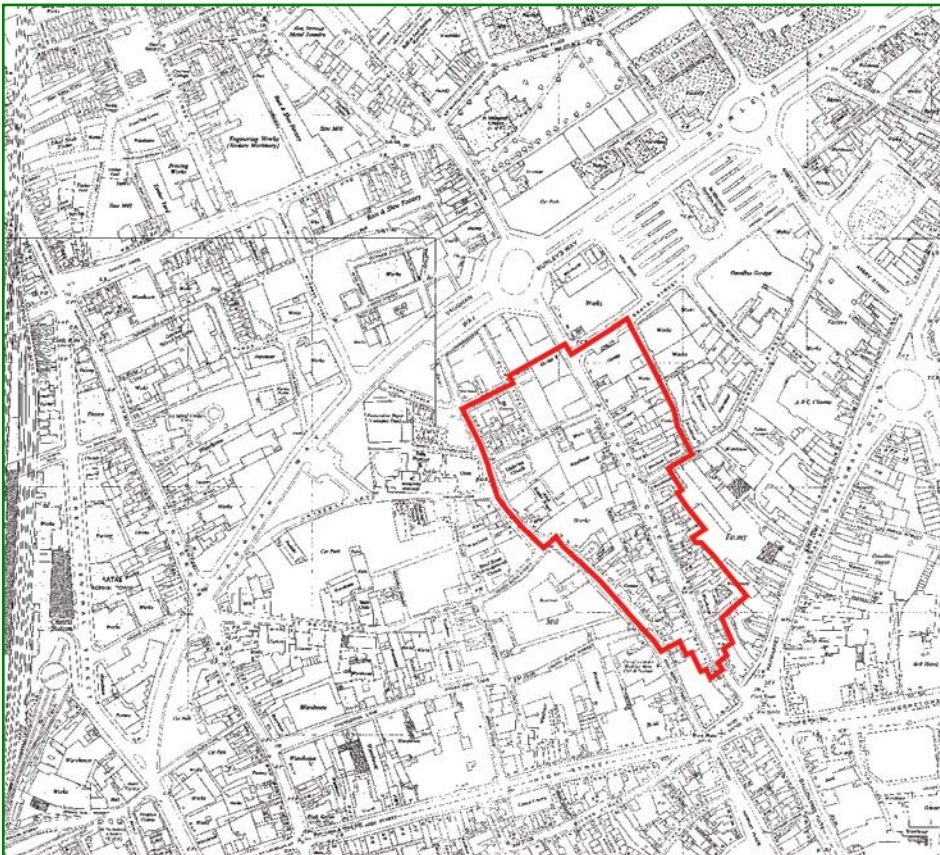
The main impact on the Conservation Area and the wider city centre in the 20th century was the increasing influence of the private motor car. The earliest influences can be seen in the appearance of vehicle garages, two of which survive, although altered, at 81 Church Gate and 7 East Bond Street.

More drastic changes took place in the post-war era as the national surge in private car ownership left the city's largely medieval street pattern unable to cope.

The city's answer, similar to many other places, was to use increased planning powers to implement a central ring road system. Originally conceived in the 1930s, construction started in the 1950s, with the widening of Burleys Lane into Burleys Way, which terminated in a new roundabout at the end of Church Gate. In the 1960s Vaughan Way was created to link this new roundabout to St Nicholas Circle.

The intent of this road was to allow traffic to bypass the overly-congested Clock Tower, however in doing this, much of the historic street pattern was swept away and the end of Church Gate, including St Margaret's Church, was effectively severed and the long-standing historic route between the East and North Gates, along Church Gate and Sanvey Gate, was lost as is shown in map 8.

5.20 Another prevalent theme of the post-war era was the clearance of 'slum' housing. Up until the 1930s the wider area is characterised by narrow streets of small houses, one-room deep. By the early 1960s most of these streets have been cleared, as had most of the housing courts in the rear yards of properties along Church Gate as part of a city-wide programme.



Map 8. The Ordnance Survey Map of 1963

Increasingly, the area shifted from being a mix of residential and commercial to one which was solely commercial in character. The fact that Church Gate had become a secondary shopping location could explain why there was only a limited amount of redevelopment at that time. Its use remained for commercial shopping. Infill developments from the 1960s and 1970s were built as purpose-built shops with storage above – the area was no longer desirable for manufacturing.

5.21 In the 1970s the former Fielding Johnson factory, which ran between East Bond Street and Church Gate was demolished and the road linking St Peters Lane and Mansfield Street was built to link the ring road to Mansfield

Street, further isolating the northern end of Church Gate. This road was built significantly wider than the adjacent streets and the effect was to cause a significant visual separation between the north and south elements of the west sides of Church Gate and East Bond Street.

5.22 In the late 1980s work began on the new city shopping centre, the Shires, which later became the Highcross. This was largely centred in the streets at the rear of High Street, but also had a significant impact on the Church Gate area as part of the rear wall of one of the ‘anchor’ department stores was built along the west side of East Bond Street. More crucially, to enable direct access from the Clock Tower, the centre cut-across the end of New Bond Street, meaning access to High Street could only take place by going through the centre. In the early 1990s an additional entrance to the centre was created at the top of Church Gate.

5.23 In 2006 work began on a significant westwards extension to the shopping centre. The most dramatic element of this was the stopping up of the former historic line of St Peters Road and its replacement with new units and a new service yard. Despite significant changes to the character of the area throughout the twentieth century the Church Gate conservation area remains close to the centre of commercial activity in the city and retains a unique, intimate and historic character.

6.0 Assessment of Special Interest

6.01 Prevailing and Former Uses

This section will consider the factors which combine to create the special character of the conservation in greater detail. As set-out in the historic development of the area, the uses within the Church Gate Conservation Area have evolved with the economy of the city.

6.02 Until the Victorian Era, it is largely unknown what the exact use of the properties in the area was, with the exception the Great Meeting House, which has remained in use for non-conformist worship. Of the other buildings:

- The master hosiers house on darker street is an example of small-scale industrial and residential use combined;
- The 1886 Ordnance Survey map (Appendix III), indicates a number of coaching inns and public houses, most of which have now changed use or been redeveloped;
- A key feature in the later Victorian era is the development of factories for industrial production. A number of substantial buildings remain;
- While smaller dwellings have mostly been lost, larger residences have generally survived as the ground floors have been converted to retail use; and
- Most 20th Century properties, which were typically built as purpose built retail units with storage above.

6.03 In the present day, Church Gate and East Bond Street remain as predominantly commercial streets with ground floor retail units. There has been a recent increase in the number of upper floors which are used as residential flats. The number of shoppers and pedestrians on Church Gate creates a very active and busy 'feel'. However, its small-scale intimate character is changing as shops are amalgamated together to create larger retail units.

6.04 There is a marked contrast between the daytime and night-time activities and uses in Church Gate. While the area is predominantly used for retailing in the daytime, longer licensing hours and new businesses have led to the establishment of a strong night-time economy in the wider area. The concentration of nightclubs and bars contribute much towards both real and perceived problems of public safety. This has impacted on the image of the area, largely to its detriment.

6.05 Church Gate is currently a busy bus route and St Peter's Lane and Mansfield Street is an important through-route for buses connecting to Charles Street, the Highcross Shopping Centre and the Central Ring Road. This has the benefit of ensuring the area is well connected, but can cause conflict between pedestrian and vehicles. Gravel Street and Church Gate is also a key route for pedestrians accessing St Margaret's Bus Station, which is further along Gravel Street outside the conservation area.

6.06 In contrast, the environs of The Great Meeting Chapel and Butt Close Lane have retained a quieter, more reflective character that is reinforced by the 'greener' aspect created by the mature trees.

6.07 City Centre Context

The Conservation Area is adjacent to the High Street Conservation Area, which covers the former Eastgates Coffee House at the southern end of the street as well as the former buildings that formed the junction of New Bond Street and High Street. It is likely that High Street would have borne a resemblance to Church Gate before it was widened and re-built on a grand scale in Edwardian times. Now the difference between the streets is marked demonstrating why they form distinct conservation areas with different characters.

6.08 In terms of built form, Church Gate is perhaps most similar to parts of the Market Place and Greyfriars Conservation Areas as they contain much of the city centre's historic building stock. The main difference being that those conservation areas were both within the city wall and developed as commercial streets in that way while Church Gate developed as a transport route into the centre. Church Gate also developed a more industrial character in Victorian times.

6.09 Character Zones

Although the area is small, two distinct zones can be identified, each of which has particular features or townscape characteristics that set it apart from adjacent area and add to the experience of the area to those passing through it. The zones are identified below and will be used in the assessment of the area's architectural character and key buildings:

- The 'Commercial Zone' - Church Gate and Bond Street; and
- The 'Quiet Zone' around The Greet Meeting Chapel and Butt Close Lane.

6.10 Architectural Quality and Built Form

The majority of the conservation area has a tight built form with buildings constructed at the back of the footway and on narrow burgage plots. Most of the buildings are 2 or 3 storeys high, but the height generally derives from the former uses with housing being smaller scale than the industrial uses for example.

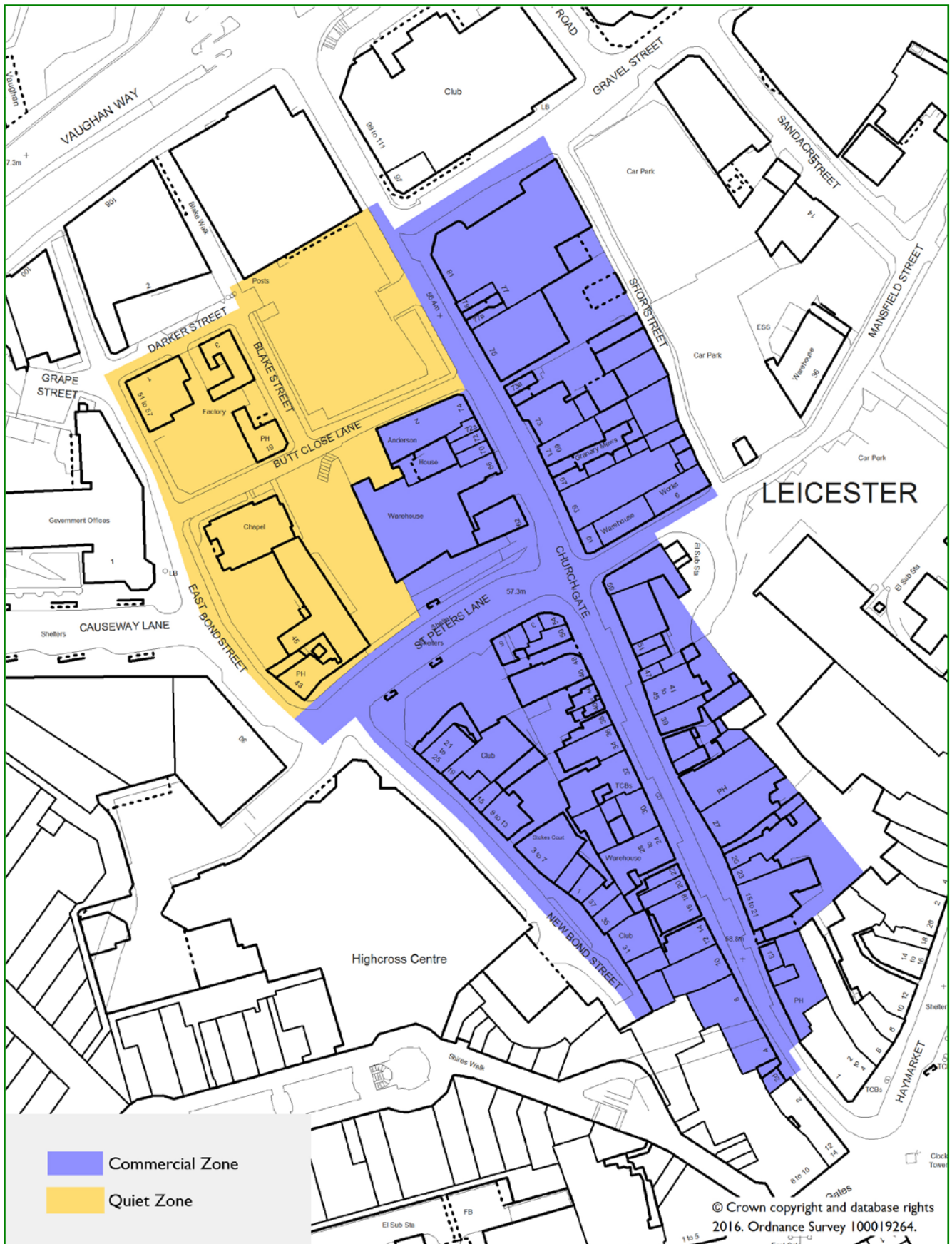
In terms of architectural styles the former houses are predominantly 2-3 storeys and built with classical proportions but are relatively plain in detailing. Typical detailing can be found above and around the windows, on the chimneystacks where they remain and under the eaves.

The large Victorian former factories and warehouses tend to be 4-5 storeys high and typically have greater levels of embellishment. The styles vary depending on the era in which they were built, but all have a certain level of decorative facades.

The other architectural style which appears is Art Deco – associated with the buildings, which were built for automotive uses in early twentieth century.



Former Great Meeting School,
now Charles Berry House



Map 9. Zones

6.11 Materials

While there is a range of architectural and building styles within the area, there are some materials and features that are common on a number of properties that help define the character of the area. Careful use of these materials can help define the character of the area, ensure this character is not lost and that new development harmonises with its surroundings.

6.12 Brick

The majority of buildings in the Conservation Area are built of brick. The earliest buildings are likely to have been built of locally made bricks, which have a distinctive warm orange-red colour; the first floor of 11-13 Church Gate is an attractive example of early brickwork.

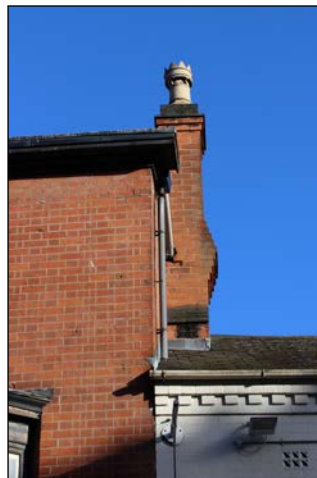
6.13 The development of the railway network from the 1840s onwards allowed bricks and other building materials to be imported from further afield. As a result, there is a noticeable distinction between the local orange-red bricks of the early buildings and the regular sized, machine-made darker red bricks used in the later Victorian buildings. This contrast in colour and size of the bricks is apparent when comparing the older 11-13 Church Gate with the later 15-21 Church Gate.



25 East Bond Street: an example of a red-brick former factory now converted to residential and commercial uses.



Brick and stonework on 13-21 Church Gate.



Unusual chimney detail at 27 Church Gate.



Good quality bricks laid in decorative patterns helps form a strong positive character for the area and contribute towards its local distinctiveness.

6.14 Stone

The use of stone as a building material is not typically found within the Conservation Area, although stone detailing is used on some of the grander buildings. The boundary wall to the Great Meeting Hall on Butt Close Lane is an unusual but decorative use of stone, which encapsulates the history of the area. The view of St Margaret's Church looking south means a prominent stone building strongly contributes to the character of the area, without actually being located within it.

6.15 Timber

Timber is still the most commonly used material for windows frames and roof eaves in the Conservation Area. This traditional material can be worked into decorative and deep profiles which add interest to the area. Timber was the traditional material used for shopfronts and access doors to upper floors. At the rear of 66 Church Gate, the unique and spectacular warehouse is constructed entirely in weather-boarded timber throughout its upper four storeys.



The restoration of traditional windows to the upper floors of 39-45 Church Gate has helped restore lost character and contributes greatly to the overall character of the area.

6.16 Slate

Early buildings would likely have had Swithland slate roofs and some may remain in rear outbuildings. With the coming of the railways, Welsh slate became more widely used from the middle of the 19th century onwards and is the predominant roofing material in the area. Welsh slate cleaves more easily than local Swithland slate and roofs covered in it are noticeably less rugged. Natural slates provide a depth and variation in colour and shade, which is extremely difficult to synthesise.



Brick and Stone detail: Butt Close Lane Wall



Chimneys and pots on Church Gate.

6.17 Metal

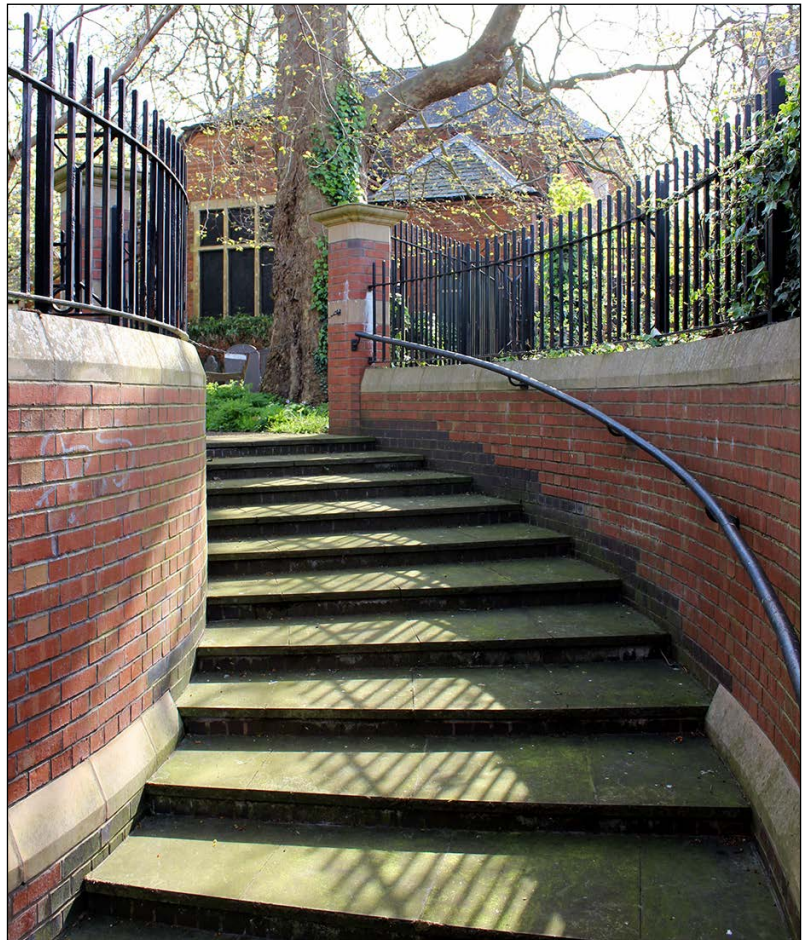
Although not prevalent within the Conservation Area, metal in various forms is an interesting and decorative feature. It is used for roofs, decoration and to define boundaries.

Some examples of metal in the area include the decorative cast iron gate piers to 66 Church Gate and the shopfront surrounds at 72 and 75 Church Gate. Metal railings have been effectively used around the Great Meeting Chapel and graveyard to provide a sense of security whilst retaining an air of elegance.

6.18 Glass

Glass is an important element in the built environment, both in terms of its function and in its use as decoration. It makes patterns, forms reflections and creates transparency.

A variety of glazing styles can be found throughout the Conservation Area. Although not frequently used, the leaded curved panels at 29 Church Gate add greatly to the interest of the building. Similarly, stained glass can be found in the oculus window in the mansard roof of 73 Church Gate.



Effective combination of stone, brick and metal creating an attractive rear entrance to the churchyard.

6.18 Other materials

Other materials occur in small quantities across the Conservation Area. Stucco is used to great decorative effect on 66 Church Gate. Plastic, in the form of replacement windows, has appeared in some parts of the Conservation Area; however, this is an unsympathetic material, not suitable for a historic area.



Cast Iron gate pier at 66 Church Gate.



Iron Pilaster at 62 Church Gate.



Unusual use of stucco at 66 Church Gate



Leaded glass at 75 Church Gate.

6.19 Public Realm

The public realm comprises the public highway and land maintained by the city council.

Very little historic fabric survives relating to the public highways due to the constant need to maintain an upgrade the highway network. From the mid twentieth century the roads were re-laid with tarmac to accommodate motor vehicles and highway restrictions became increasingly stringent.

Notwithstanding this, there are elements of the public realm which do survive from earlier eras and add to the historic character of the area.

These typically fall into two categories:

1. Surfacing materials; and
2. Street furnishing.

I. Surfacing materials

There are two historic surfacing materials that are present within the conservation area.

Mountsorrel 'Granite' Kerbstones

These distinctive kerbstones have been used within the city since the early 19th Century. They are made from local form of granite which was originally quarried in nearby Mountsorrel and have a characterful pink colour and textured surface both reflecting both their age and quarrying method.

They are a distinctive and important part of the historic street scene and greatly add to the historic character of the city.

Granite Setts

Granite setts, often incorrectly referred to as cobbles, formed the surface for the many of the city centre streets until the advent of tarmac surfaces in the mid twentieth century.

Once commonplace across the city, they are now only found in isolated areas. Unlike the kerbstones, they tend to have a smoother and browner finish and are often very small in size. Their worn and polished appearance make them attractive and historic features of the conservation area.

Within the area they can be found along the gutters of some roads and are likely to remain under much of the tarmac. These setts in their historic context add greatly to the historical appreciation of the area as well as its visual appearance.

In some parts of the area, granite setts have been re-laid out of context in decorative patterns as part of public realm works. Typically, these are in the footway and mark out street furniture such as lamp-posts. Where they are devoid of historic context, setts do not have the same importance.



This Mountsorrel Granite Kerb on Blake Street – provides a strong and characterful edge to the pavement.



Far left. Granite setts marking a vehicular entrance on Butt Close Lane.

Left. Granite setts in the gutter along East Bond Street.

Above. Granite setts laid out of context on Church Gate.

2. Street Furniture

Historic street furniture typically dates from the 19th and early 20th Centuries and is made of cast iron. It can encompass all objects located in the public highway for public benefit. Most common are street lighting columns, stench pipes, bollards, street nameplates and drain covers.

Pieces were generally commissioned by the Corporation of Leicester from local foundries and are often of a unique bespoke style.

Cast iron is brittle in nature and prone to shatter when struck with a forceful enough blow. It is also heavy to move and relatively inflexible in this respect. As such they have mostly been replaced with more flexible mild steel alternatives.

Where historic furnishings do survive they can add greatly to the character of an area as unique historic features.

Some items of cast-iron or metal street furniture are replicas and date from the late 20th century. These don't have the same intrinsic historic interest but may still add to the character of the area.



A 'Wright's Foundry' column on Church gate dating from the mid-19th Century and made in a local foundry.



A cast iron bollard on Church Gate dating from the 1980s.

Character Zones

The public realm treatment within the Church Gate Conservation Area falls into three character zones.

I. The Commercial Zone

This area was comprehensively re-paved in the mid 1980s as part of an improvement scheme. Red paviours, laid in a herringbone pattern were used for both the carriageway and pavements and raised circular brick planters were used for tree planting. In 2006, the carriageway was replaced with black-top tarmac when the street was modified to accommodate buses. A number of the planters were removed at this time.

The section of Church Gate south of St Peters Lane always had black top in the carriageway.

The street furniture used as part of the improvement scheme was typically cast-iron, either historic or replica painted black and gold. This was used for the lamp standards, hanging basket holders and many bollards.

Other than a small number of historic lamp standards and some decorative use of small granite setts there is no evident historic fabric visible within the public realm; the granite kerbs have been lost.

Since the comprehensive redevelopment, the public realm has been updated in line with contemporary city designs and a number of styles of street furniture are present within the street. This leads to a discordant and cluttered feel that detracts from the character of the area.

The red paviours do not have historic precedent and now have a dated and worn feel and many are now uneven through wear and have been patch-repaired with black tarmac all of which detracts from the character of the area.

The historic street lamp columns retain their interest, but the granite setts have lost their context when being re-laid and may not have been original to the area.

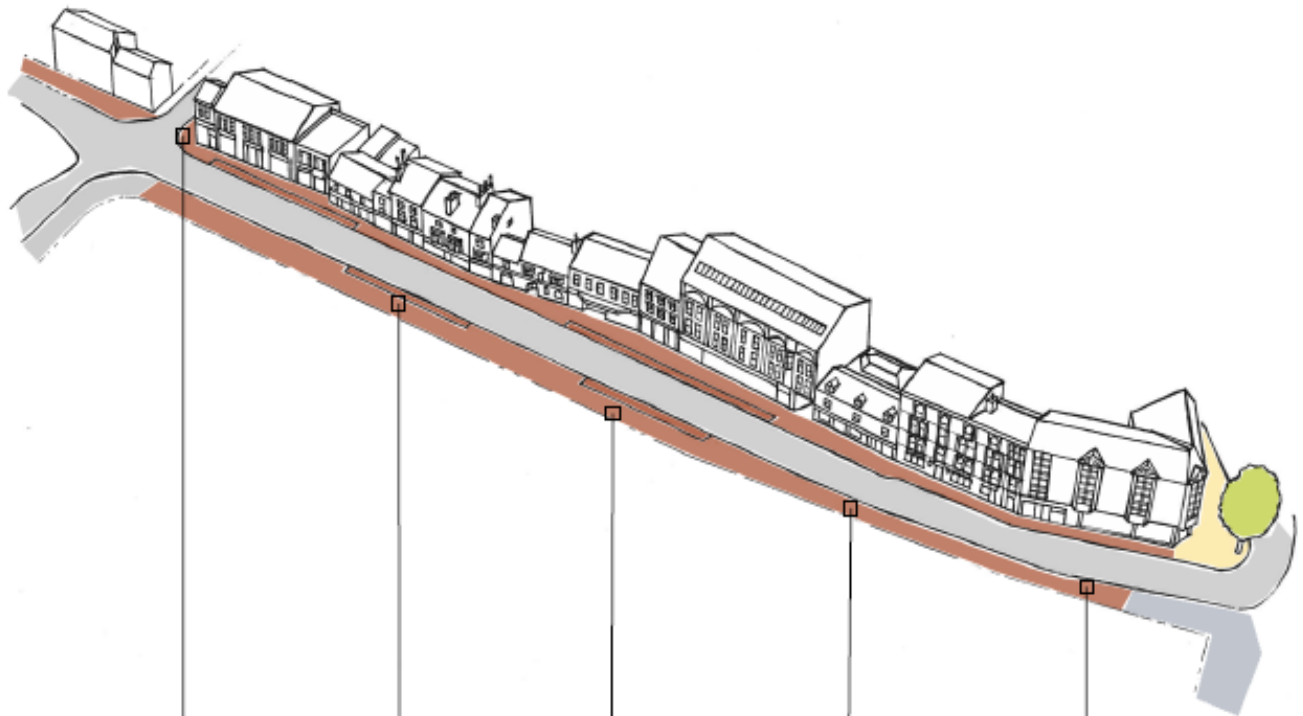


The 1980s resurfacing remains the predominant surfacing on Church Gate.



The 1980s public realm scheme extends to New Bond Street where a seating and planting area is still present. While dated in style it is in a reasonable state of repair.

Public Realm Strategy : Commercial Zone



Co-ordination of street furniture will bring a unity to the street scene and should have the same design approach as other parts of the city center. Views to be capitalised on with appropriately placed seating. Alternatives to raised planters to introduce greenery is preferred; the existing should be removed. Free standing poster and map relocated to a more appropriate part of the area.



Traffic Regulation Signs should be kept a minimum, located on existing supporting columns and should be reviewed against the latest regulatory updates.

Hanging baskets provide seasonal points of interest and become unnecessary structures in the street scene when not used, creating street clutter. Existing supporting structures should be removed. Phone boxes to either be removed if unused or refurbished to a higher standard.



Most street light has been located onto the facade of buildings. A mixture of mock Victorian and modern lighting is used on the street plane. A common theme that adds historical value and points of interest would be highly beneficial to the historical character.



Varied styles of paving along with damaged blocks have created an unattractive appearance to the public realm. Taking the historic setting into consideration, high quality natural materials or resin bonded gravel with a sympathetic colour scheme is preferred.



Example of surfacing approach used on Applegate in the City Centre

2. The Quiet Zone

This area was not overhauled in the 1980s and the streets have a more traditional feel with a black-top carriageways and pavements. Unlike the commercial zone historic features survive, in particular the Mountsorrel granite kerbstones in the much of the area as well as some of the setts, which can be seen through gaps in the tarmac. These features add greatly to the historic character of the street.

A number of traditional cast-iron street nameplates survive in this part of the conservation area which further contributes to its historic character.

Despite retaining some key historic features, the public realm is feeling well-worn in the area and would benefit from being sensitively renewed.

3. St Peters Lane

The wide expanse of St Peters Lane does not share the character of either of the other zones, its wide carriageway and pavements and lack of street frontages lead to a feel of a street dominated by the carriageway. Unsurprisingly for a street with no historic precedent, there is no historic fabric present within this street.

Overall the effect is not pedestrian friendly although views into the quiet zone do anchor it within the wider conservation area.

General Comments

Throughout the conservation area there is a proliferation of road signs and bollards to deal with the one-way system and general traffic management. While this is legally required to manage vehicles it has created a cluttered feel; this is further exacerbated by the lack of co-ordination between the furniture.

A clear example of this can be found on Butt Close Lane where large directional signs dominate part of the section of the listed wall to the Great Meeting House.



Corner of Butt Close Lane and Blake Street – granite kerbstones are visible as is a traditional nameplate.



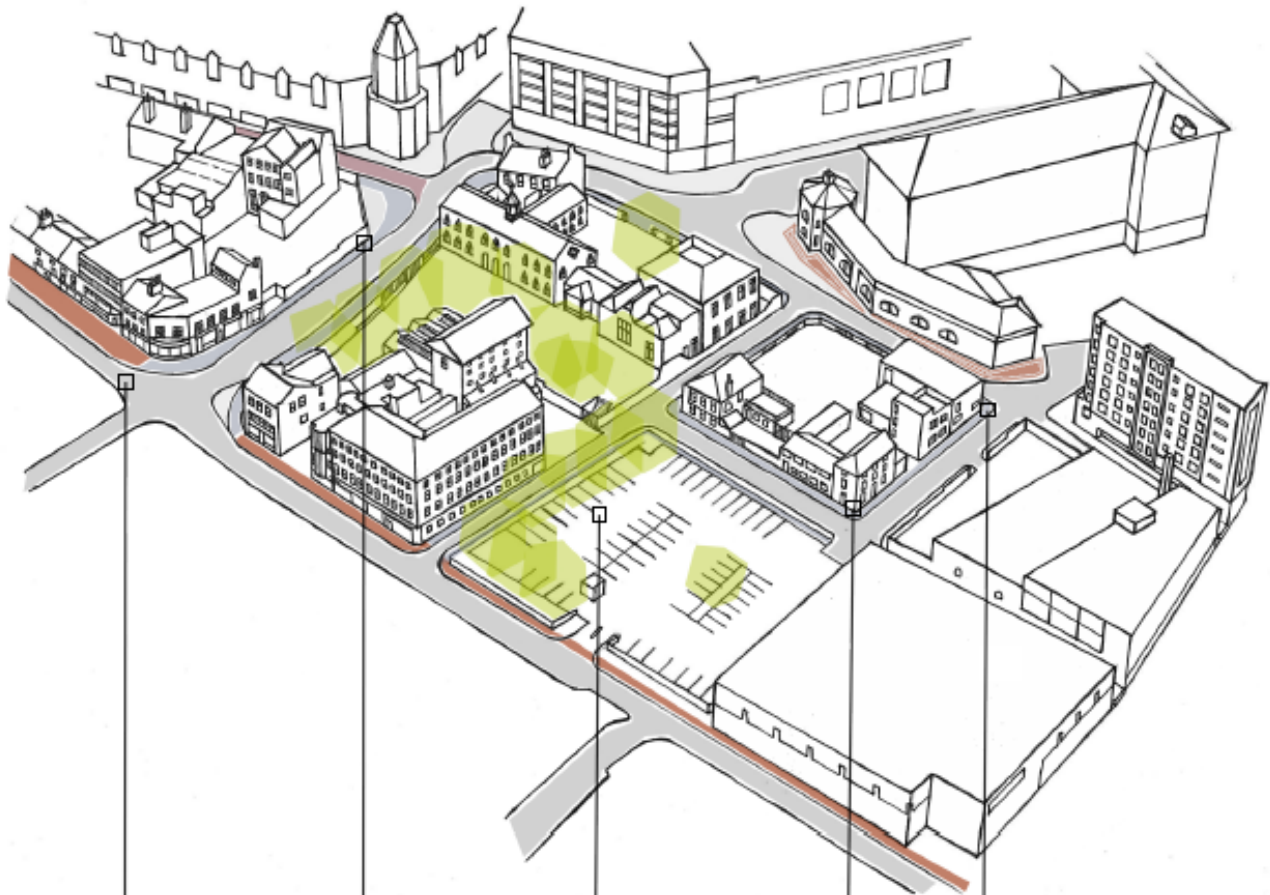
The public realm on St Peters Lane does not share the same distinctive character of the other areas.



Left. Large modern signage jars with the historic character of the listed wall..

Above. Historic street nameplate would benefit from re-painting

Public Realm Strategy : Quiet Zone



Vehicle traffic and a the one way system in place both street markings and highway signs are needed for the area. However, number of signs and marking width should be kept to a minimum and reviewed when when necessary.



Bus stops help with accessibility to the area. They do not hinder the character area. If moved due care could be taken in choosing a new location .



Private open spaces can add to the character of the area if an sensitive landscaping scheme is implemented. Existing trees should be kept and maintained. New trees planted must of a proportional size to the area and provide year long interest without blocking key views. Trees that are lost to be replanted with a suitable replacement.



Cast-iron street nameplates are visible around the entire conservation area. These should be retained and refurbished to keep the historic character of be surroundings.



Architectural lighting should be carefully considered if installed to highlight key areas of a building. Potential uncovered cellar lights to be reinstated to add to the historic character.

Road Markings

Similar to the signage, road markings are needed to control the flows of traffic within the area. Efforts have been made on Church Gate to narrow the yellow lines to minimise their impact which is welcome.

The junction of Church Gate and St Peters Lane however, is dominated by white lines which add to the cluttered and confusing feel of this junction.

Street furniture

There is a wide range of street furniture in the area which includes lamp standards, hanging basket holders, poles for traffic regulations, phone boxes, bike stands and phone boxes among other things. The lack of co-ordination in respect of location and design detracts from the character of the area giving a cluttered feel.



Narrow yellow lines, Church Gate.

7.0 Area Analysis

The following passages contain a brief assessment of all buildings within the area. This is not exhaustive, the intention is to draw attention to the most important features of the buildings however features may still have importance even if not mentioned.

7.01 Map 10 sets out the character of the buildings as well as undeveloped land and key views Map 9 sets out the two distinct character areas found within the conservation and which are considered in more detail below:

7.02 The Commercial Zone

The commercial zone encompasses the shopping streets of Church Gate, East Bond Street and New Bond Street, as well as a small section of Mansfield Street and St Peter's Lane. It is characterised by back of footway buildings, many built on historic burgage plots and most of which have a commercial use in some or all of the building.



The boundary wall on Butt Close Lane is made of a of stones and bricks of varied styles and likely dates from the 18th Century.

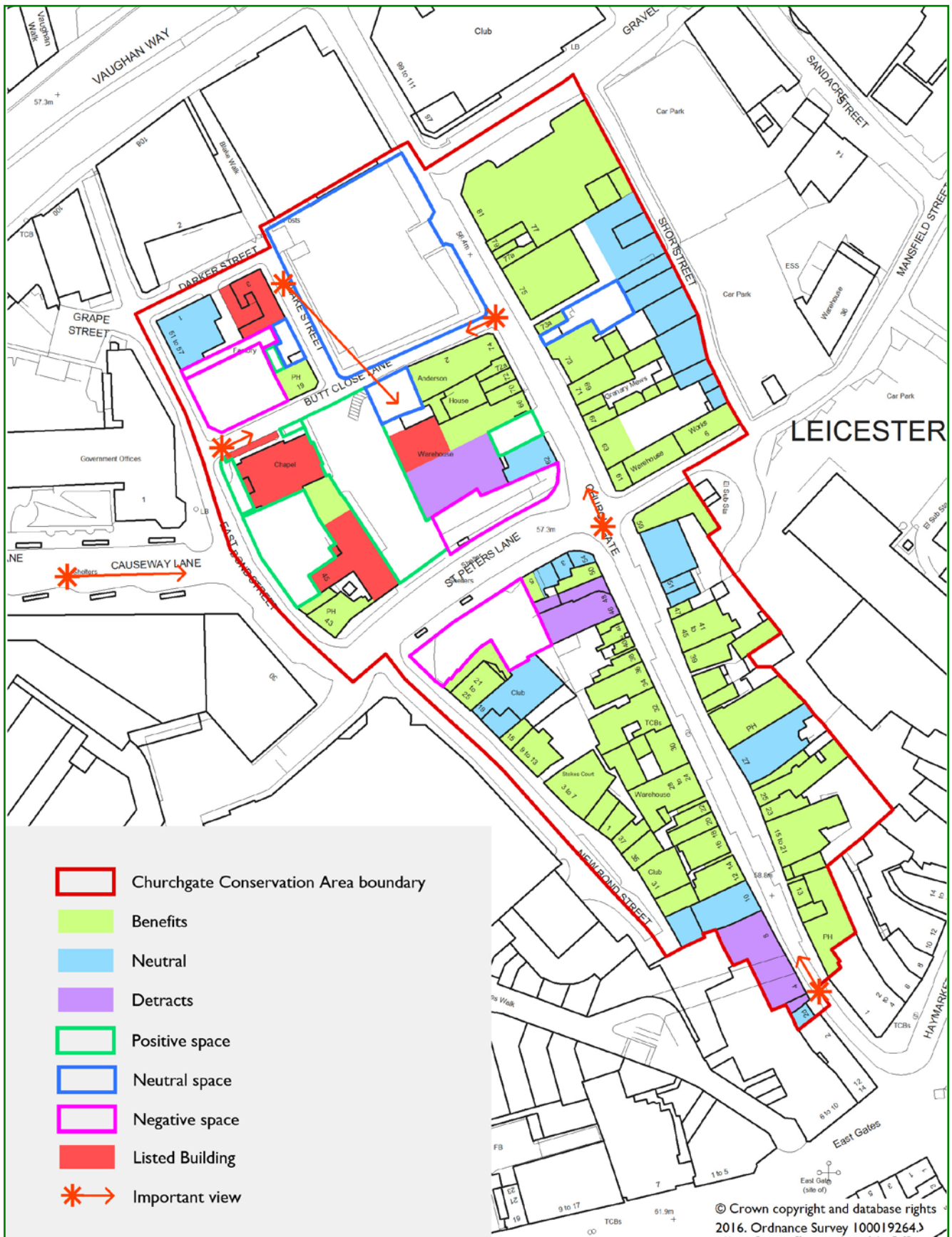
7.03 Church Gate: East Side

7.04 **7-9 Church Gate** is at the southern end of the street. The four-storey building is now known as the Church Gate Tavern, but was built as the Cricket Players Hotel in the 1870s. It is constructed in gault brick, a relatively unusual building material for Leicester, and has fine Classical mouldings to the stone window surrounds. The exposed brickwork and original timber-framed sliding sash windows on the upper floors contribute greatly to its character. The ground floor has been more substantially altered, with inappropriate rendering, but the window surrounds remain.



The dramatic juxtaposition between the 18th century 9-11 Church Gate and the adjacent later buildings is evident and creates a strong sense of place.

7.05 **11-13 Church Gate** is a pair of shops set within a larger property. The date "1711" is detailed in vitrified brick at first floor level, but this wall may conceal an older building behind. The 1886 Ordnance Survey map (Appendix III) indicates that the building was then the Windmill Inn, but in the 1840s it was a coffee house run by Thomas Cooper, one of the leading figures in the Chartist movement. Although the ground floor has been extensively altered, the buildings are of considerable historic significance as a rare surviving example of a building type, which would once have been common within the city.



Map 10. Spatial Analysis

7.06 **15-21 Church Gate** is a notably fine four-storey building dating from the early part of the 20th century and built in Queen Anne style in red brick with stone dressings; the semi-circular windows are surrounded by brick and stone voussoirs on the top floor. It is the grandest of the former industrial buildings on the street with carved keystones and octagonal pilasters across the upper floors as well as a grand stone door surround at ground floor level. The shopfronts are modern but are set within substantial stone pilasters which link the building to the ground. Its height and scale make it a significant landmark when looking south along the street.

7.07 **23-25 Church Gate** is a more modest 19th Century building, with 3 rows of windows set in classical proportions and oversailing eaves. The upper floors have been unsympathetically painted, but it retains its original windows and slate roof. The shopfront is modern and out of keeping with the rest of the building.

7.08 **27 Church Gate** is a two-storey property which dates from the mid-20th century. The upper floor is dark red brick, split into six bays each, with an aluminium-framed sliding sash window. The building does not have the same character as the older buildings on the street, but respects the overall scale and proportion. The windows, while modern, reflect a traditional size and opening form with slender frames. The shopfront is modern and has a projecting angular fascia zone which over-dominates the building. The prevalence of glazing visually detaches the upper floor from the ground floor.



7.09 **29 Church Gate** is a former coaching inn known as the Loughborough House Inn. The façade likely dates from the early 20th century and has a good quality decorative composition, with oriel windows on the first floor with leaded details. While the façade is relatively modern an older building may survive behind. The property has a slate roof and interesting chimneys but would benefit from the removal of the unsympathetic modern paintwork from the façade. Number 31 was incorporated into the property in the 1980s.

Unique street scene within the city centre showing many stages of development.

7.10 **33-37 Church Gate** is a good group of three-storey Georgian buildings, which retain their original timber sash windows and first floor bays on the upper floors. Number 33 retains its un-painted brickwork, but 35-37 have been painted. The shopfronts are modern, but fit stylistically with the building. Number 35-37 has a Dutch Canopy.

7.11 **39 Church Gate** is also a three-storey Georgian property with original sliding sash windows on the upper floors which have recently been repaired and the façade re-painted. The shopfront is not original and the fascia board is out of scale with the property.

7.12 **To the rear of 39 Church Gate** is a substantial three-storey factory building. It is of solid red brick construction with simple arched windows. It is plain in detailing and retains a Swithland slate roof, which is in poor condition. Historic maps indicate it was formerly surrounded by buildings. Wrights directory in 1899 suggests number 39

was in use as an animal preserver and skin dresser; this building may have been used in connection with this business. It can now be viewed from the service yard of the properties on Belgrave Gate (outside the Conservation Area). The building is currently empty and in need of repair and re-use.

7.13 **41-47 Church Gate** is a row of smaller-scale Georgian properties with a mix of original and replacement timber windows. The upper floors have recently been repainted. The shopfronts are replacements and are typically too big for the property. An air conditioning unit outside 43 harms the row, as does the proliferation of signage. Numbers 43-47 are rare surviving examples of small properties, the like of which were typically cleared in the mid-20th century as being unsuitable housing. As such the row is of considerable historic interest.



Rear of 39 Church Gate.

7.14 **51-53 Church Gate** is a pair of two-storey shops dating from the early 1960s, built in brown brick with stone window surrounds. The scale of the property is in keeping with the character of the area even if the horizontal emphasis of the windows is uncharacteristic of the area. The shopfronts are modern and not of interest.

7.15 **55-57 Church Gate** is a row of three two-storey shops from the 1970s which, although of little architectural merit, respect the height and scale of their neighbours. The slimline sliding sash windows on the first floor are a contemporary approach to copying a more traditional form. The shopfronts are of little interest.

7.16 **59 Church Gate** is a two-storey early 20th century building, extended at the rear so that it attractively turns the corner into Mansfield Street. It has retained its original timber windows on the upper floor but has been re-roofed in concrete tiles.

7.17 **61 Church Gate** is located at the corner of Mansfield Street. It is a small three-storey 18th century building which complements 59 Church Gate in height and scale forming a gateway on Mansfield Street. Although the upper floors have been painted, a faux-Victorian shopfront installed and the chimney stack removed, it has retained timber sash windows on the upper floors and retains its overall historic character.



59 & 61 Church Gate form a gateway to Mansfield Street.

7.18 **63 Church Gate** is the former Fish & Quart public house which dates to 1832 and is the earliest surviving building in the city attributed to Henry Goddard, father to fellow architect Joseph Goddard, who was one of the City's most eminent architects and

designer of the clock tower. It is a tall three-storey building with rows of three windows on the upper floors and oversailing eaves. It is currently in a poor state of decorative repair with blocked up windows on the first floor and uPVC-framed windows on the second floor. The upper floors have been rendered while the ground floor has been tiled with large grey tiles and the façade is punctuated with a plethora of spotlights. Despite the current condition, its raised height and location at the end of St Peters Lane make it an important local landmark as well as of considerable local historic interest.

Planning permission has recently been granted for the change of use of the upper floors to flats which will hopefully allow some of the building's character to be restored.

7.19 67-71 Church Gate is located next to number 63 and creates an interesting contrast in scale. A group of small 18th century buildings, the properties retain a slate roof and prominent chimney stacks with historic pots. The first floor windows are not original but are likely to replicate the historic window style.

The properties are separated by an undercroft leading to a yard now known as Granary Mews, which was developed in the 1980s. Much of the historic range of buildings remains, as does the character of a subsidiary range of buildings, which was part of the historic character of the old town. The undercroft may have been a later addition to the building as it sits uncomfortably within the row and has no decorative archway. This likely shows the development of the town throughout the Victorian era as the historic building stock was put under increased development pressure and ways of intensifying land uses for small dwellings and shops were found.

7.20 73 Church Gate is, in comparison, probably the most architecturally accomplished building on Church Gate. It was built in the 1890s as a house and offices for a local builder George Duxbury by local architect Harry Percival on a site identified as part of Goodwin & Barsby's iron foundry on the 1886 Ordnance Survey map (Appendix III). It was subsequently used as an adult school, offices and a nightclub; the ground floor has now been converted into shops. It is built in red brick with decorative stone detailing, twin pedimented gables, a large recessed central window and a stone balustrade. It retains an unusual mansard roof with Welsh slates including a circular window with stained glass. The windows have been replaced, but have kept leaded details, which likely replicate the original windows. On the ground floor, the two bay windows have been modified into a shopfront with access through the chamfered panel and modified steps. The original front doors with stained glass tympanum have survived.

To the rear of 73 is a range of modern buildings which currently are used as a bar and nightclub and are not of special historic or architectural interest.



The mix of building ages and styles combine to provide both an attractive streetscene and a picture of the historic development of the city.

7.21 **73A Church Gate** is an unusual, single storey building, which is only a single plot wide. It likely dates from the 1920s and appears to have originally been associated with the plot at the rear of 73. It has modest decorative and historic interest.

7.22 **75 Church Gate** is an attractively proportioned, substantial three-storey Victorian ormer coach workshop; the ground floor of which has been converted into a restaurant. The property has prominent oversailing eaves with decorative corbels; the second floor has four wide windows, while the first has eight windows in pairs which sit neatly beneath the ones on the upper floor. The window frames are all uPVC casements but may reflect a more historic glazing bar pattern. The upper floor retains its brickwork, unpainted and, as such, decorative sills and voussoirs are still visible and contribute to the character of the area. The ground floor retains cast iron pilasters with some decorative detail, whilst the shopfront is modern. The roller-shutter boxes are particularly prominent and detract from the street scene. The southern flank-wall is prominent within the street scene; it has been painted white, but is now fading – the ghost sign of ‘Wentworth’ is still visible.

7.23 **77-79 Church Gate** is an interesting pair of small shops which are likely to date from the mid-late Victorian era with a decorative basket arch leading to a rear courtyard. The building retains a slate roof and chimneys and exposed brickwork on the upper floor but the windows have been replaced with unsympathetic uPVC framed units, which pay some reference to the original glazing bar pattern of the original sashes.

The ground floor shops have lost their original shopfronts, although historic console brackets appear to survive above number 79. The 1886 Ordnance Survey map (Appendix III) shows courtyard housing at the rear under the name of ‘Court A’. This was one of the many housing courts in the area, all of which had been demolished as part of slum clearance works in the mid twentieth century.



Former coach workshop at 75 Church Gate.



81 Church Gate is one of two former car garages in the area, the distinctive ‘fin’ forms an interesting corner feature

7.24 **81 Church Gate** sits on the east side of Church Gate, at the corner of Gravel Street. These premises were built as a garage for Castle's Motors (who also owned many other buildings in locality) in the 1930s, probably at the time when Gravel Street was extended. It is in Art Deco style – popular for such uses at that time - and features a tower that acts as a prominent local landmark.

7.25 **Church Gate - West Side (evens)**

The west side of Church Gate would have developed as plots which backed onto the former city wall, which could explain its very straight building line compared to the more sinuous building line on the eastern side.

7.26 The first building in the Conservation Area is actually the facade to the western entrance to the Highcross Shopping centre, which was developed in the early 1990s on the site of 4-8 Church Gate. The façade is three storeys tall and is predominantly clad white metal panels with intermittent glazing. The roof is marked with oversailing fins, a design feature which is reflected on a smaller scale above the ground floor units. Overall the composition is very plain and lacks visual interest, other than the main projecting sign.

This building is very prominent when the street is viewed from the Clock Tower area as the curvature of the street at the southern end prevents long views until you are on the street. Unfortunately, it does not give an impression of the character of the street or wider area.

7.27 **10 Church Gate** dates from the 1970s and is a bakery and café. It has facades to both Church Gate and Bond Street at the rear and is the only building in the area to do so. It is undistinguished architecturally and because of its age, does not possess vernacular charm. Efforts have been made to replicate more traditional details such as brick voussoirs above upper floor windows and brick arches at ground floor level, but the elevation is flat and is overreliant on brick. The upper floor windows are slimline aluminium sliding sashes, which replicate the traditional form of window opening in a contemporary material.

7.28 **12-22 Church Gate** is a terrace of six three-storey early 19th Century properties with ground floor retail units and residential accommodation on the upper floors. They have recessed windows set in stone surrounds with smaller openings on the third floor and prominent chimney stacks. The properties retain attractive brickwork set in Flemish bond on the upper floors with painted stone window surrounds. The windows have been replaced with top hung timber mock-sashes, but that reflect the glazing pattern of the original windows. The shopfronts are entirely modern and do not reflect the historic character of the buildings.



7.29 **24-26 Church Gate** is a pair of shops, which were re-fronted in the 1980s, having formerly formed three small units. The façade is unambitious but has interesting arched windows surrounds with bespoke arched timber windows and a decorative blue brick string course. While not of historic interest, efforts have been made to provide a

12-22 Church Gate - despite unsympathetic shopfronts much of the area retains a strong historic character.

decorative façade. The shopfronts also date from the 1980s and have mock-Victorian features such as wooden pilasters. Both properties have roller shutters with recessed boxes. The relatively modern façade may hide more historic buildings at the rear of the site.

7.30 **30 Church Gate** is a grand, three storey Victorian factory, built in Classical Italianate style and identified as Lowe & Son's "Fancy Hosiery Works" on the 1886 Ordnance Survey map (Appendix III). The building has interesting architectural features throughout, with decorative corbels and brackets at eaves level, as well as brick and carved stone voussoirs on the upper floors. The ground floor is split into five bays separated by robust square pilasters. The building retains most of its original sliding sash windows to the front which are a key part of its character. The ground floor has been converted to a shop with glazed panels and roller shutters between the pilasters. The appearance of the building is adversely affected by the paint that has been applied to the brickwork, which has masked much of the decorative detail on the upper floors. There is an excessively large fascia board which dominates the ground floor and may hide decorative detailing behind.

7.31 **32 Church Gate** is an interesting three-storey twin gabled property, dating from the late 19th century which also has a workshop at the rear. The buildings were in use as a leather-belt factory until the 1960s (H Pretty & Sons Victoria Works). The upper floors are relatively plain but with some brick and stone voussoirs and original sliding sash windows. Similar to number 30, the ground floor has been converted into a shop with glazing and roller shutters between ground floor pilasters and it also has a disproportionately large fascia sign. The whole building has been painted which has screened much of the decorative detailing.

7.32 **34-40 Church Gate** is a group of smaller early 19th buildings. These three storey properties are relatively plain in detailing but form a good stock of buildings within the area. As with many others, the upper floors have been painted to the detriment of their visual appearance and historic character. The windows have been replaced, but with timber units that reflect the historic glazing bar pattern.

7.33 **42-44 Church Gate** has a red-brick façade which largely dates from the early twentieth century and which screens a pair of older buildings behind. The window openings have a horizontal emphasis and are out of proportion with the building. The windows have recently been replaced as part of a residential conversion scheme. The ground floor of number 44 has been crudely turned into a vehicle entry through the removal of part of the shopfront and creation of an undercroft with a metal gate, which detracts from the character of the area.

7.34 **46-48 Church Gate** dates from the early 1960s and was built speculatively for either a showroom or offices. It is a four-storey building which is 4 bays wide and is both out of scale and character with other properties on the street. It is built from concrete beams with buff brick infill panels and retains original metal three-pane windows. The



30 & 32 Church Gate – examples of Victorian factories, some of the closest built to the City Centre.

ground and first floor are built with an unusual 2-storey curved wall which leads into an undercroft, which typically is now used for car parking. The shopfront is contemporaneous with the building and is quite interesting for the curve of the building.

7.35 **50 Church Gate** is a three storey 19th century building that is now the last building in this block following the demolition of its neighbours in the 1970s as part of the St Peters Lane redevelopment. The building is constructed of brick, with a well-proportioned façade featuring oversailing eaves, decorative corbels and carved stone lintels. The windows on the upper floors have been replaced within uPVC units, but ones which reflect the pattern of the likely former sashes. The walls have also been painted white, to its detriment. The shopfront is modern and has unsympathetic roller shutters to the front.

7.36 **54 Church Gate** incorporates one bay of the shopfront beneath number 50; the remainder extends round onto St Peters Lane. This two-storey element is unambitious and does not positively contribute towards the conservation. It adjoins number 50 at an uncomfortably sharp angle. It also incorporates an older two-storey workshop at the rear of number 50, the flank wall of which is visible within the streetscene.

7.37 **62-64 Church Gate** is the first building on the other side of the wide expanse formed by St Peters Lane. It dates from the mid-2000s. It is a three-storey red-brick building designed with three sliding sash timber-framed windows in a traditional style. The first floor has been designed as a shopfront with arched wooden windows, while the ground floor has a timber shopfront with unusual green brickwork.

7.38 **66 Church Gate** is one of the more unusual and distinctive groups of properties on the street. The main building is side facing and has a highly decorative façade and end gable with a first floor balcony. It was remodelled in 1881 for TD Brown, primarily as house, but with rooms set aside for offices. To the side of the building is a surviving pair of decorative cast iron gate piers.

Adjoining this building is an exceptionally unusual five-storey timber-framed warehouse that was originally used for drying timber as part of the timber production process. It is Grade II listed and can be glimpsed in part from various places within the Conservation Area.

Adjacent to these two buildings is a much later metal shed which acts as part of the current furniture warehouse business, it is not architecturally distinguished and does not contribute positively to the character of the area. Notwithstanding the later addition, these buildings are among the most important in the area for their rareness and architectural/historic interest.



66 Church Gate - a decoratively distinctive building within the area.

7.39 **74-76 Church Gate** is the last building on the western side. It was built as Jennings' boot and shoe manufacturers; a carved detail dates the corner building to 1877 but the side extension, built in the same style, dates to 1895. The windows on the upper floors have been replaced with insensitive uPVC framed units to the detriment of the

overall appearance of the building. Notwithstanding this, its high quality red bricks with decorative gault brick voussoirs still make this an imposing and characterful end to the street, and which attractively turns the corner into Butt Close Lane. The ground floor contains four shop units and an entry door. Three of the units are set within a historic shopfront which retains cast-iron pilasters with decorative detailing and a prominent oversailing fascia panel.

7.40 Mansfield Street and St Peters Lane

The only buildings on Mansfield Street are 2-6 Mansfield Street; two industrial buildings which appear to date from the late 19th or early 20th century. Number 2 has two storeys while number 6 has three storeys. They are built from red brick and have wide windows with shallow segmental arches above. The windows have all been replaced with uPVC framed units to the detriment of the appearance of the building, but a historic glazing bar pattern has been reflected and the windows are set back within the reveals, which lessens this impact. The slates have been replaced with inferior concrete tiles, but the brickwork has not been painted which adds to the buildings' character.

7.41 Short Street. The western side of Short Street has been included within the Conservation Area as part of the block formed by Mansfield Street, Church Gate and Gravel Street. The buildings which front the street either have no historic interest or have been severely altered to the point that they do not retain any special character.

7.42 New and East Bond Streets. New Bond Street and East Bond Street are two streets which once formed part of a winder network. Historically there were also North, South and West Bond Streets, all of which were located on land to the west, which is now part of the Highcross Shopping Centre. The present day street appears as if it is a single street but the change in street names can be found where there is a kink in the building line. Historically this also marked a ward boundary.

New and East Bond Streets represent the only surviving fabric from this corner of the city with a single row of shop buildings on the east side while the west side is now dominated by the flank wall of the Highcross shopping centre; the end of the street terminates with one of the entrances to the centre.

The remaining row of buildings still retains a good stock of interesting properties, which are now rare survivors of the former character of the area.

7.43 Rear of 10 Church Gate is the first building in the row. Although it has a strong presence on New Bond Street it is part of the main bakery and café use fronting onto Church Gate. The façade is three storeys with four rows of windows. It is distinctively clad in rows of narrow cream-coloured tiles and has a long wooden soffit at eaves level. The effect is both unattractive and uncharacteristic of the area, but its overall proportions are in keeping. The shopfront is unambitious with a prominent fascia panel, a brick wall with service doors as well as an entrance to the café. However, the physical link through the café to Church Gate is positive.

7.44 31-33 New Bond Street appear to date from the late 19th Century and are handsome three-storey buildings. Some of the window openings have been altered to the detriment of the overall appearance of the building. All the windows have been replaced with uPVC-framed units, but the historic glazing bar pattern has been retained. The brickwork has not been painted which adds to its character. The shopfront is made from timber and retains some attractive elements such as carved pilasters and leaded light details. However, it is let down by two un-coated roller shutters. The building has a long-standing use as a club being a Unionist Club in the Early part of the Twentieth Century and a British Legion Club in the latter part of the century.

7.45 35-37 New Bond Street is a pair of three-storey properties with three rows of windows. The buildings have an outward appearance of being Victorian with a slate roof, stone lintel detail and decorative corbelling. The modern windows replicate four-pane sash windows typical of a Victorian building. The presence of braces on the faces may indicate that the façade hides earlier buildings behind. The first floor windows of number 35 have been replaced with panels depicting a religious scene in conjunction with the ground floor shop. Both shop units form a single retail unit, which although not original is in keeping with the character of the area.

7.46 **1-5 East Bond Street** is a handsome terrace of three-storey 19th century buildings with good upper floor detailing, oversailing eaves, original chimney stacks and original windows. The upper floors are mostly un-painted, which allows the brickwork to be seen, however, elements such as satellite dishes, defunct window boxes and trailing wires detract from its overall appearance. The shopfronts are modern but are generally in keeping with the character of the area.

7.47 **7 East Bond Street** now forms a block of flats know as Stokes Court along with numbers 1, 3 and 5. The substantial building at number 7 was built as a vehicle garage in the 1930s in an Art Deco style. In the early 1990s it was converted to flats and the top floor extension was added. Elements of the original art deco design can be seen in the horizontal emphasis of the upper floors, the curved ground floor pilasters and remains of the 'fin' detail on the upper floors.

The shopfronts are modern but are timber-framed and respect the overall character of the area. The access door to the upper floor flats appears to date from the 1930s and is an important feature of the history of the building.



The kink in the building line is the only indication of the change from New Bond Street to East Bond Street.

7.48 **9-15 East Bond Street** is a distinctive terrace of four properties featuring original windows on the first floor and Welsh slates. It has strong Arts and Crafts influences, with a steeply pitched roof with attractive hipped dormers, oversailing eaves and prominent chimney-stacks set within the main roofslope. The first floor has been painted, which detracts from its overall appearance. The shopfront of number 15 is now blank as it is used as part of the adjacent casino. The other three shops remain in use for retail and retain some elements of original shopfronts between the strong pilasters although they are screened by roller shutters.



9-15 East Bond Street retains much original character including prominent chimney stacks and leaded glass – elements of the historic shopfronts survive beneath security features.

7.49 **17-19 East Bond Street** was built in the mid-1960s as club rooms and a concert hall for the Variety Artistes Club and institute. In the early 1970s consent was given to change the use to a casino and it remains in that use to the present day. The building is relatively undistinguished; it has two storeys, the upper floor having three large square windows set in three bays. The ground floor is largely brick with some glazed shopfronts.

7.50 **21-25 East Bond Street** is the first building on the street. A prominent three-storey building dating from the early 20th century, in Classical style, with a semi-circular pediment above the entrance and timber windows recessed behind deep pilasters. The shopfronts were added later, but have been designed to fit within the bays of the building and are made of timber. The upper floors have recently been sensitively converted to residential units.

7.51 **The Quiet Zone**

In contrast to the activity found in the commercial zone, the quiet zone is characterised by lower density uses and more greenery. Until the mid-20th century, the area was predominantly a residential district that expanded to the east west and north – the majority of this housing was cleared as ‘slums’ by the 1960s. However, some very interesting buildings and streets remain and retain a distinct character.

7.52 **The Great Meeting Chapel** (1707) is one of the earliest brick buildings of any importance in the city. Built in a plain but solid manner, with stucco detailing and a steeply-pitched slate roof, it became a Unitarian chapel in the 19th century and the front projection dates from that period. Alongside, the former schoolrooms date from 1859 and are built in red and yellow brick in Gothic Revival style, with pointed arch windows; it has been linked to the chapel with an attractive extension, clearly modern but echoing the style of the buildings. In the 18th and early 19th centuries, non-conformist chapels were commonplace within the city. Relatively few survive to the present day and only three retain their historic use (the other two being the Baptist Chapel on Charles Street and the Methodist Chapel on Bishop Street).

7.53 On its northern boundary, which forms the south side of Butt Close Lane, the boundary wall to the Great Meeting Chapel reveals a very early section of rubble walling at the base – reputed to be stone from the town wall. Above the plinth is 18th



7 East Bond Street is a former vehicle garage which has been extended and converted to shops and flats.



Great Meeting School.



Butt Close Lane retains a unique character within the city.

century brickwork - the small, hand-made bricks being typical of the period. The burial ground to the Chapel, accessed from Butt Close Lane, was attractively landscaped in the 1990s and provides a refreshing area of green and landscaped open space – the only such space within the Conservation Area. The gates and steps to St Peters Lane and Butt Close Lane are of wrought iron, with piers of stone and brick and form an attractive boundary treatment. Alongside, the side elevation of the timber warehouse provides a strong visual termination. The Chapel, the former School and the wall to Butt Close Lane are all Grade II listed.

7.54 The adjacent **Cherry Tree public house** is a handsome three-storey former hotel that can be identified on the 1886 Ordnance Survey map (Appendix III). It originally adjoined a building to the south and joined the rest of the East Bond Street, but the construction of the St Peter's Lane extension in the 1970s and has left it standing in isolation. The southern flank wall is covered in creeper which is a simple and effective way of screening a blank elevation attractively while also providing biodiversity value.



Cherry Tree Public House.

In contrast, the northern flank was clearly finished with the intention of being seen as it contains a decorative Flemish bond with lighter coloured bricks used as the headers for a 'chequered' effect. The façade is well proportioned and mixes some of the simplicity of Georgian proportions and quoin details with more decorative Victorian elements such as the use of polychromatic brickwork in the relieving arches and string courses adding greatly to the façade. The ground floor has been modified to incorporate a vehicular access but timber sliding sashes survive throughout and greatly add to the character of the building.

7.55 At the corner of Butt Close Lane and Blake Street, **The Salmon Public House** is a good surviving example of a Victorian street corner public house. It has timber sliding sash windows with decorative glazing bars, prominent chimney stacks and exposed brickwork on the upper floor. The arrangement of windows and door indicate it was likely re-modelled at some point, perhaps to move the door to the corner to increase trade. It is the last surviving property of the row, where it once formed the end of the terrace.

7.56 At the other end of Blake Street, **3 Darker Street** is a rare example of a hosiery master's house and workshop. It was built around 1850 and pre-dates the large-scale industrialisation that was to occur within a few years; the house and workshop are Grade II listed.

Whilst it's architectural detailing is unremarkable, it is a unique example of this building type within the city and is the last representative of a something, which would have once been commonplace within the City. The 'master' hosier would have lived in the property at the front and employed a small number of workers. Eventually, larger factories were built and improvements in transport and housing allowed factory owners to move further out of town into grander and more salubrious surroundings.

7.57 The final building in the area is **51-57 East Bond Street**, which is now a dental surgery and has a rendered façade. Whilst superficially unremarkable, on closer inspection it is apparent that this building was once four terraced houses that have since been knocked-through and had their roofs removed. The only surviving clue to this is in the decorative stone lintels which sit above the first floor window openings. This building also incorporates 1 Darker Street, which is a 2/3 storey building dating from the early-mid 20th century. It has original windows and some glazed bricks at the base, but is largely unremarkable.



3 Darker Street awaits a sensitive re-use.

7.58 The other feature of the quiet zone is two car parks. The smaller one is private and serves the use at 51-57 East Bond Street. It is the site of a former row of houses, but now the openness and lack of landscaping detract from the surrounding area.

The larger car park serves the large retail store, which sits just outside the boundary of the Conservation Area to the north and has some public access. It effectively represents a cleared block and is likely to have been the original open piece of land where the archery butts were located. It is shown as open land in 1807, but by 1828 buildings have appeared. In Victorian times it housed a school and housing, while, in the early 20th century, the school was demolished to provide a large vehicle garage. The whole site was cleared by the 1970s and has been used as a car park since the 1980s.



The Great Meeting House is one of the oldest buildings in the City.

7.59 Greenery and Open Spaces

The only area of open green space within the Conservation Area is the former burial ground to the Great Meeting Chapel. The burial ground was landscaped by the City Council in the early 1990s and provides an attractive space within the area.

7.60 As the Conservation Area is not well provided with trees, the cluster found in the Quiet Zone is of great importance to the area. Of particular value are the large,



View of former timber-drying warehouse at rear of 66 Church Gate from Butt Close Lane.

mature plane trees and limes on the East Bond Street side of Great Meeting Chapel. There are some additional mature plane trees and two Indian bean trees within the burial ground which are protected by a Tree Preservation Order. At the corner of Butt Close Lane and East Bond Street are a large ash tree and lime tree that are close to the church building.

There are also important trees around the Matalan car park. These include four plane trees on the Church Gate frontage and several mature cherry trees and younger rowans on Butt Close Lane. This greenery adds greatly to the character of the area as well as improving the biodiversity of a predominantly built-up area.

There are a number of smaller open spaces in the area which form part of the surroundings of buildings in the area and are important to the setting of these buildings even where they are not being maintained to their full potential.



The graveyard of the Great Meeting House – an attractively landscaped green space.



The car park serving Matalan is located on the area thought to formerly be used for Archery Butts. The site has a mixed development history, but is not harmed by being open and contains a large number of trees which make a positive contribution to the area.

7.61 Key Views

As well as the individual character of the buildings and spaces between, there are a number of views which are important to the character of the area; these can be set out as follows:



7.62 View looking north along Church Gate to St Margaret's Church

The Grade I listed 15th Century St Margaret's Church, whilst not within the area, gives the street its name and is located the historic junction of Church Gate and Sanvey Gate, which also marks the north-east corner of the old city walls.

The church tower rises above all surrounding buildings; This historic view still dominates the view north along Church Gate from the city centre and belies its physical separation from the conservation area. The view is particularly dramatic around midday when the sun illuminates the southern wall of the church tower.



7.63 View into the Quiet Zone from Causeway Lane

The view looking into the Conservation Area from Causeway lane affords a view of both the great meeting house and the adjacent school with the timber-drying warehouse in between forming an interesting and visually pleasing grouping, particularly set among the greenery.



7.64 View of the timber warehouse at rear of 66 Church Gate from Blake Street

The timber warehouse is a very rare and interesting building within the conservation area and whole city; it is listed at Grade II.

Because of the built up nature of the surrounding area, it is difficult to view from the public highway; the best view is from the north from Butt Close Lane and Blake Street.



7.65 View along Butt Close Lane

The narrowness of the lane gives great character to the area; the hard edge of the wall of the meeting chapel and former factory on the southern side in particular give a strong sense of identity as a 'minor' route and the sense of enclosure likely to have been characteristic of the historic town.

7.66 Setting of the Conservation Area

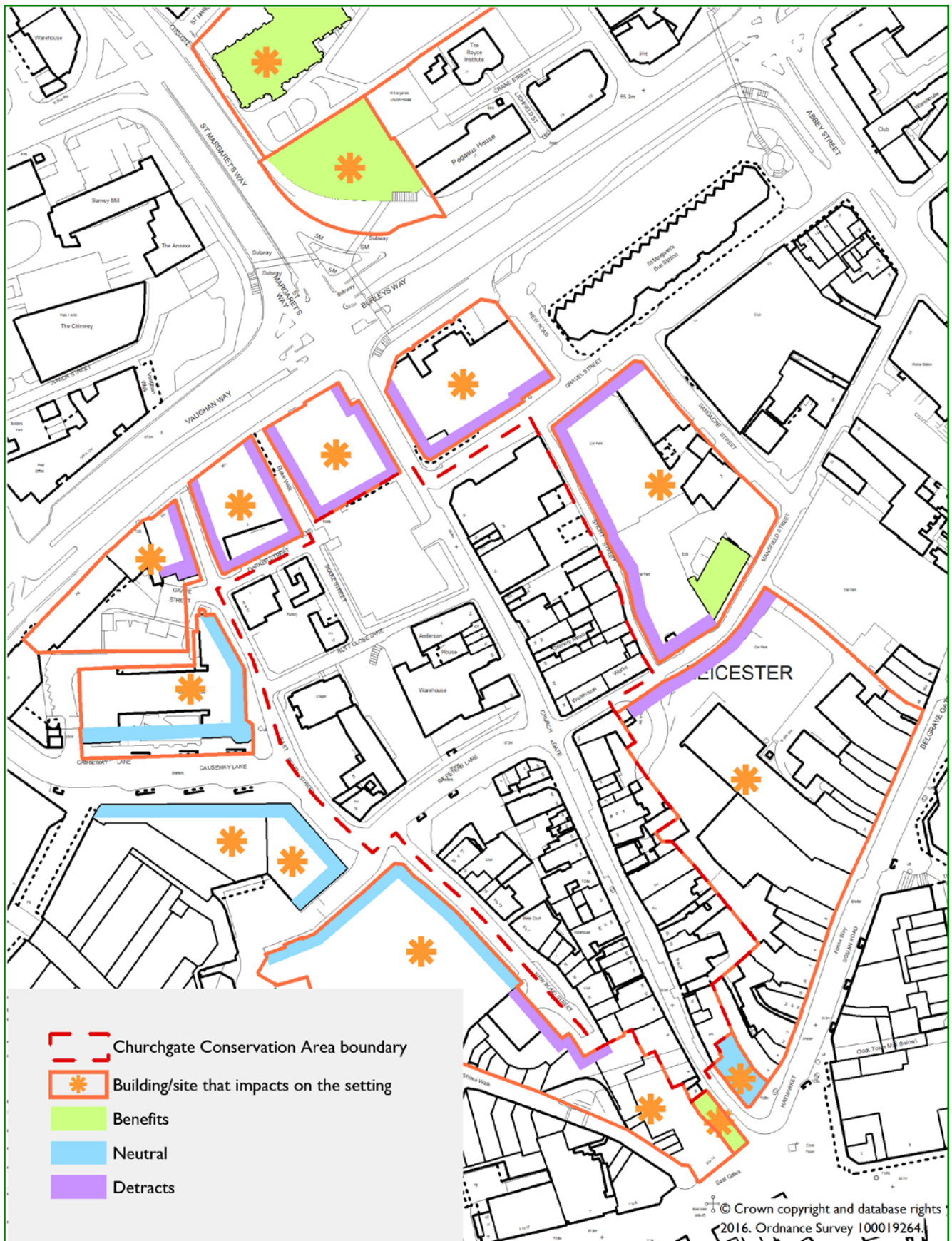
Outside the boundary of the conservation area are a number of buildings and sites which have a significant impact on its setting either through immediate proximity or impact on long views. Church Gate is unusual for a city centre conservation area as it only shares a very small boundary with another conservation area, High Street, at its southern end and there is only a very limited visual link between the two areas.

7.67 As previously set out – the conservation area preserves a small section of a wider type of development that would have been common in the surrounding streets but was lost through substantial redevelopment of the wider area, particularly around the ring road, in the twentieth century. The conservation area is surrounded on most sides by large areas of land which have been developed either in a scale and character not in keeping with the character of the area or are vacant and await redevelopment. Development of these sites has the potential to significantly alter the appreciation of the historic character of the conservation area.

7.68 Map 11 shows sites surrounding the conservation area and their current impact on its setting. The impact any development on the setting on the conservation area will be a material consideration of any future development of these sites. Setting of the area can be formed by the framing of buildings as well as skyline interest. The context in which a building is viewed changes with what surrounds it – a buildings significance may be harmed if it is not possible to view it against clear sky; the absence of buildings can form an important part of the setting of the area.



Flats on East Bond Street, which form part of the Highcross forms a strong edge to the conservation area although is not being within the boundary. The buildings was constructed over the former route of St Peters Lane.



Map 11. Setting of the Conservation Area

8.0 Pressures and Challenges

8.01 Negative Factors

In this appraisal, buildings have been identified that make positive contributions to the character and appearance of the Conservation Area. However, there are many examples of other changes, both large and small, that have begun to erode the special quality of the area.

8.02 Mid-late Twentieth Century Buildings

The majority of the building stock makes a positive contribution towards the character of the area or could be enhanced with repair and redecoration. Many of the post-war buildings do not have the same charm or intrinsic historic interest of the earlier buildings, reflecting the more homogenous use of building materials and simplicity of design. There is less local distinction, as the buildings were built as generic retail space rather than for a specific purpose.

8.03 Building materials

The predominant building material within the Conservation Area is red brick, with a limited amount of stone detailing, timber windows and slate roofs. The use of more modern materials can harm this character. UPVC is a commonly used material for windows. This, particularly when coloured brilliant white, appears chunky and dominant within the window opening. Thick, 'stormproof' structure, 'mock' non-structural glazing bars and no set-back from the front wall all combine to harm the character of more historic buildings. Top-opening casement windows also harm the streetscene. This is particularly evident at number 50 Church Gate.



Inappropriate windows at 79 Church Gate.



Obscuring of decorative corner feature at 70 Church Gate.

8.04 Replacement roofs

Although not widespread, some properties have been re-roofed in non-original materials, such as concrete tiles or artificial slates; particular examples are 59 Church Gate and former workshops on Mansfield Street. The appearance of these roofs generally fails to match the profile and definition of a natural slate roof and is detrimental both to the appearance and character of the individual building and to the streetscene more generally.

8.05 Shopfronts

The majority of buildings along Church Gate have shopfronts which date from the mid-late 20th century or later. Although buildings need to adapt to changing circumstances and patterns of use, this has often been achieved at the cost of the architectural and historic character of the buildings. Many of the modern shopfronts along Church Gate are unsympathetically designed with overly deep fascias, using inappropriate materials that are not in keeping with the character of the rest of the building. Particularly poor examples are the shopfronts to the 18th century buildings at 11-13 Church Gate. In many locations solid security shutters have also been added and this has not only adversely affected the appearance of the buildings but has also created an unwelcoming appearance when they are closed.

8.06 Advertisements, Signs and street clutter

A particular feature of Church Gate is the number and variety of signs to commercial premises. Historically, some of these have been at high level. However, some are not sympathetic to the proportions of the building on which they are displayed. A number of signs are redundant, worn and give an appearance of neglect. A further feature which creates a negative appearance is the number of traffic direction and information signs, which creates a cluttered appearance, particularly at the junction of Church Gate and St Peter's Lane/Mansfield Street.

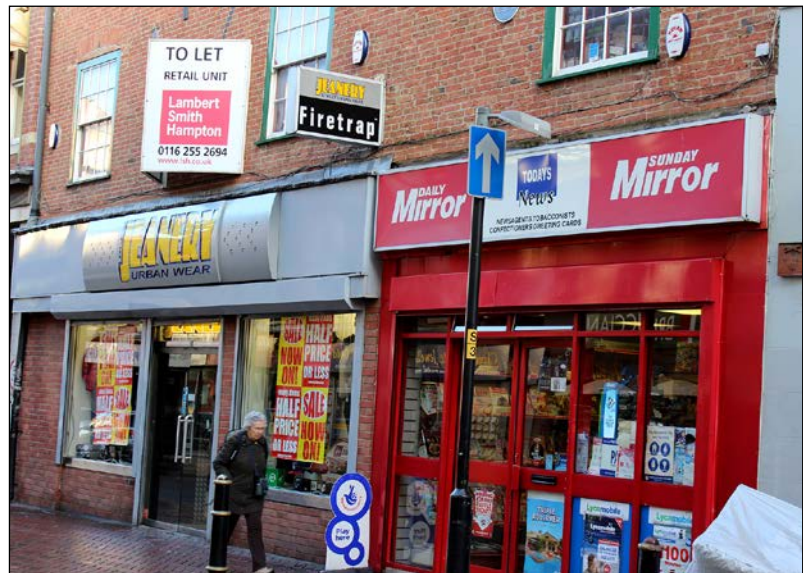
Because of the narrow width of the street, a number of street lights on Church Gate are fixed at high level on buildings. This has the advantage of reducing clutter. Some replica "Victorian" lighting columns have also been erected. However, the general quality and condition of the road surface, litter bins and planters is poor and out-dated. 'A' boards outside shops add to the cluttered and untidy appearance.

8.07 Painting of brickwork

The brickwork on several buildings, particularly along Church Gate, has been painted, usually white. Not only does this spoil the red brick character of the street but it also results in the need for regular and on-going maintenance. If poorly maintained, paintwork looks untidy when it starts to flake off. The application of paint can also cause damage to the brickwork as it traps moisture.

8.08 Night-time economy

Church Gate has several bars and nightclubs in and around the wider area and has become a focus of the 'night-time economy'. This has created particular problems such as an increase in antisocial behaviour, which in turn has required many shop-owners to need heavy security measures such as roller shutters to the detriment of the wider appearance of the area. This has had a detrimental effect on the 'image' and perceived safety of the area.



The shopfronts at 9-11 Church Gate don't relate well to the main building to the detriment of the building as a whole.



The area is cluttered by a proliferation of street furniture, vehicle movements remain a problem as does dated and incoherent street paving and markings.



Insensitive treatment of key buildings has led to an erosion of character within the area.

8.09 Lack of residential presence

Linked to the issues with the night-time economy is the general lack of occupation of the properties at night, which can give an abandoned feeling and mean a lack of passive surveillance. There is however an increasing trend is for upper floors of properties to be converted into residential flats, a move which is welcome and to be encouraged.

8.10 Vacant buildings

Following the economic downturn and a gradual change in shopping habits under-occupancy of buildings has become an increasing problem. This has two main manifestations: firstly in empty shops and secondly in long-term vacant buildings. The hosier master's house and workshop at the corner of Darker Street and Blake Street is a listed building at risk that urgently requires a sympathetic new use. Similarly the former workshop at the rear of 39 Church Gate is long-term vacant and a new use should be sought urgently. The best way of preserving a building is to ensure it remains in use and as such the council will continue to support applications to keep buildings in appropriate uses.

8.11 Car parks

There are three surface level car parks in the Conservation Area: one serving Matalan on Church Gate, another at the corner of Butt Close Lane/East Bond Street and a further one at the junction of East Bond Street and St Peters Lane. The latter two detract from the appearance of the Conservation Area as they lead to an openness, which is uncharacteristic of the city centre and detracts from its character. It is also an inefficient use of land and sympathetic redevelopment would be preferable. Where a redevelopment scheme is not forthcoming, suitable screening and landscaping schemes will be supported to minimise their visual impact on the area.



The car part at the corner of Butt Close Lane and East Bond Street suffers from a lack of activity and poor landscaping.

8.12 The public realm

The Council undertook repaving with brick paviors and installed planter beds, trees and an information board when Church Gate was part-pedestrianised during the 1980s. Unfortunately, the appearance of the streetscape has been affected by vandalism, poor maintenance and illegal parking on the footway. It is now dirty, with cracked and uneven surfaces. The colours that have been used have also tended to detract from, rather than enhance, the appearance of the area.

8.13 Poor Landscaping

Where sites don't contain buildings there is often a lack of planned landscaping which is to the detriment of the wider appearance of the area. Some areas suffer from a lack of maintenance which further harms their appearance.

8.14 Pedestrian and vehicle traffic

The extension to the Highcross shopping centre was completed and opened in 2008. As part of this, the High Street was pedestrianised and buses were re-routed down Church Gate. This has had mixed impact on the area as it has increased the prominence of the

street with higher traffic volumes, but has been detrimental to the pedestrian environment as it brings pedestrians into conflict with larger vehicles. It has also required the junction of Church Gate and St Peters Lane to be modified to accommodate the wide turning circles of buses.

8.15 Other Sites which detract from the Conservation Area

As well as the identified areas there are other sites within the conservation area which detract from its overall appearance.

8.16 St Peters Lane

The stretch of road now known as St Peters Lane was created in the 1970s as a link road connecting Mansfield Street to the Central Ring Road. In 2006, as part of the Highcross Shopping Centre extension, the older section of St Peters Lane that connected to Vaughan Way was stopped up, leaving the remaining section of St Peters Lane serving as a connection between Mansfield Street and Causeway Lane.

The road is three lanes wide, with wide pavements on either side. There is also undeveloped land on either side, which is currently screened by fencing following the removal of the advertisement hoardings in June 2015. The width and openness of this section of road are in stark contrast to the more intimate streetscapes provided on Church Gate and Bond Street. This openness is further exacerbated by the lack of an active frontage on either side, which causes a loss of character and gives no indication from Church Gate of the shops on Bond Street.



St Peters Lane was built to accommodate a level of traffic that has never materialised; it is now out of character with the surrounding streets which benefit from active frontages as a sense of enclosure.



Flat and uninspiring façade to Highcross on Church Gate.

8.17 Highcross Shopping Centre

While located just outside the conservation area, two of the entrances to the centre are located within the Conservation Area and the shopping centre has a significant impact on the character of the area as a whole. There are 4 main areas of impact:

- Church Gate – eastern entrance to lower mall;
- New Bond Street – entrance to upper mall;

- New/East Bond Street – side wall of shopping centre including vehicle entrance; and
- East Bond Street – external wall of Highcross including access to service yard

The centre has a mixed impact on the character of the area. The centre is a major economic draw for the city and, as such, having two entrances to the centre within the local area brings footfall and is welcomed. However, the long blank facades along New and East Bond Streets, as well as the vehicular and service entrances, lead to a lack of activity and a prevalence of heavy goods vehicles manoeuvring which can unsettle pedestrians and detract from the area.

9.0 Contacts

For further information on this, or other, conservation areas you can contact the Council's Building Conservation Officers by phone, letter or e-mail at the following addresses:

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City Hall,
115 Charles Street,
Leicester.
LE1 1FZ.

T: 0116 454 2973

E: planning@leicester.gov.uk

Information on all conservation areas is available on the Council's website (www.leicester.gov.uk) including Character Appraisals where adopted.

Appendix I. Glossary

Glossary of architectural terms	
architrave	a moulded frame around a window
ashlar	smooth faced masonry blocks laid horizontally
balustrade	a series of short posts or pillars supporting a rail
bracket/ console	bracket a small piece of stone or other material supporting a weight e.g. eaves bracket [console or scroll bracket – in the form of a scroll]
canted	having splayed sides
capital	the head or crowning feature of a column
chamfer	the sharp edge of a stone block, usually cut back at 45°
corbel(led)	a method of laying bricks or stone so that each course projects slightly forward of the one below
cornice	horizontal projecting section at the top of a building or wall
dentil	a small square shaped block, usually one of a series, creating a tooth-liked pattern
diaper	pattern a pattern on brickwork that creates a series of diamond or square shapes using different coloured bricks
drip moulds	a projecting string, hood, or moulding over doorways, arches, windows, and niches, first installed to direct rainwater away from the opening.
fanlight	a window over a door
flat arch	an arch where the voussoirs are shaped to have horizontal edges on top and bottom
finial	a formal ornament at the apex of a gable or spire
flute	the shallow concave groove that runs vertically down the shaft of a column
frieze	a decorated band along the upper part of a wall
hipped	roof a roof that has sloping rather than vertical ends
hood mould	a projecting moulding over a door or window designed to throw rain off the face of the building
keystone/ keyblock	the central wedge-shaped stone at the top of an arch that locks the arch in place
lintel	a horizontal support, usually stone, that sits above the opening to a window or door
mansard	a roof with a double slope the lower slope being steeper than the higher one
modillion	a small bracket, usually one of a series

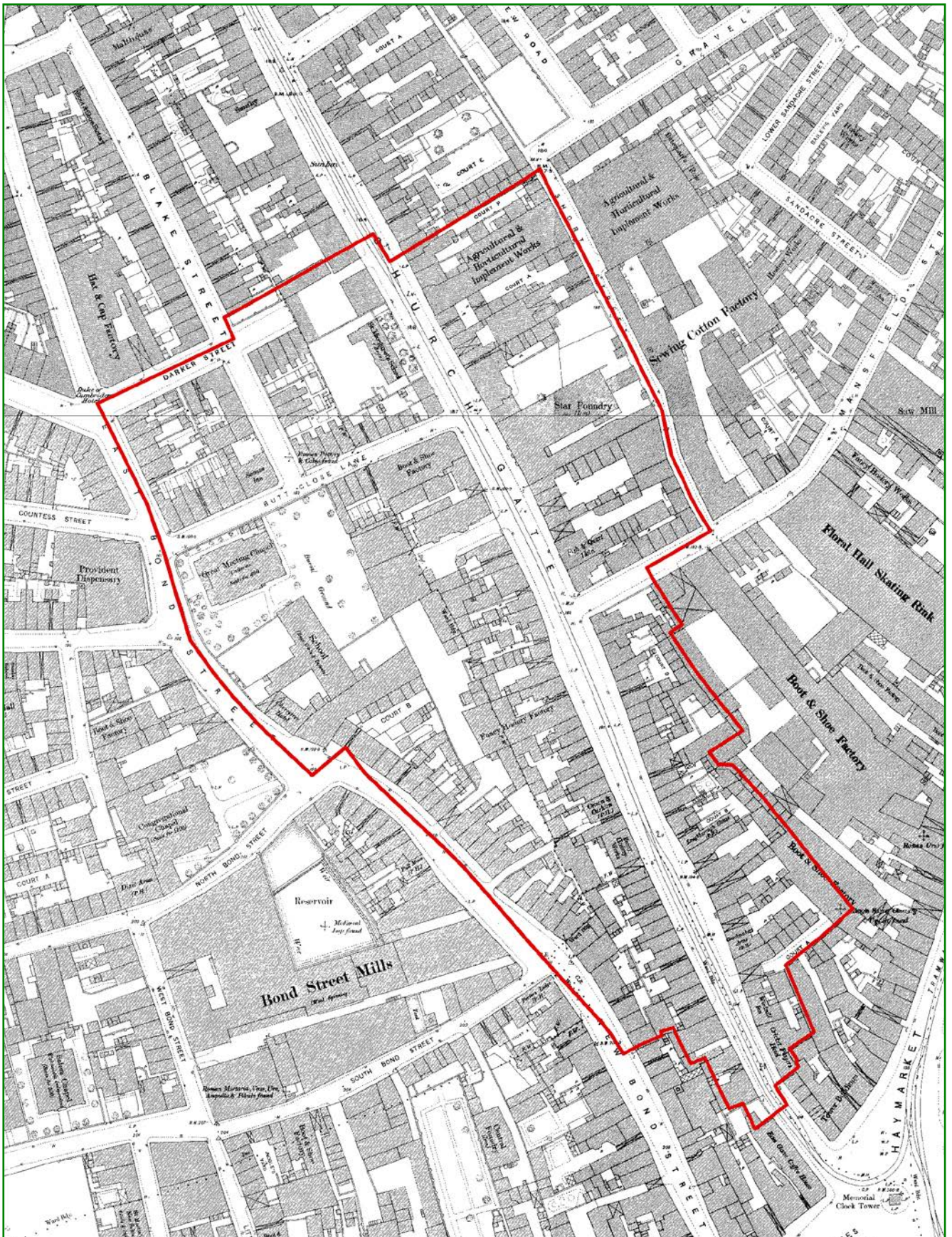
Glossary of architectural terms	
moulding	a continuous groove or projection used decoratively to throw shadow on, or water away from, a wall
oculus	a circular window with no tracery
oriel	a curved bay window projecting out from an upper floor
parapet	a low wall along the edge of a roof
pediment	a low pitched gable shape over a door or window
pendant	decorative carved cloth, fruits etc hanging beneath a swag
pilaster	a shallow column attached to, and slightly projecting from, a wall
plinth	plain projecting surface at the base of a wall
polychrome	decoration created by the use of coloured bricks, stone or tiles
quoin	dressed stones laid up the external corners of buildings, usually in alternating large and small blocks
relieving arch	an arch built above an opening to redistribute the weight of the wall above
rusticated	of a column – square blocks which interrupt the shaft at regular intervals of a wall – chamfered edge masonry blocks laid with very deep joints
segmental arch	a very shallow arch [of a bay window – a very shallow curved bay]
sill	the horizontal base of a window surround
string course	a continuous decorative horizontal band projecting from a wall and usually moulded
stucco	a cement-type render used for facing external walls
swag	decoration carved to resemble a draped flower garland or fabric
tympanum	the semi-circular or triangular decorative wall surface over an entrance, bounded by a lintel and arch
vitified	[of bricks] burned when firing producing a dark, slightly-glazed finish
vousoir	wedge shaped blocks or bricks which form part of an arch

Appendix II. Boundary Review

The following boundary amendments were considered as part of the appraisal review.

Proposed Change	Issue	Consideration	Recommendation
Inclusion of 2-4 Haymarket on the site of former 1-7 Church Gate	Property part of 2 which frame the street when viewed from Clock Tower	Property dates from 1990s, not particular historic or architectural interest. Difficult to read in context of the street due to slight kink in road. Forms more part of the Streetscene of Haymarket	Do not include in area
Removal of '2d' Church Gate	Property is part of 12-14 Eastgates – a listed building within High Street CA.	Property dates from 1990s, as it forms part of 12-14 – should be in same CA as main building. Removing from CA would leave it without status	Leave in area, move to High Street when that CA is next reviewed
Removal of Industrial Zone	Block has lost the special character it had when CA designated in 2006	Loss of 2 historic buildings which formed the NW boundary to short street as well as upper floor of property on Sandacre Street has left the block with only 2 buildings of interest, which are disconnected from each other and the rest of the conservation area. Site characterised now by gap sites and surface car parks	Remove from CA
Amend boundary along rear of properties on east side of Church Gate	Current boundary reflects neither current nor historic building properties	Slight amendment to boundary to bring in in line with current and/ or historic rear property boundaries.	Redefine boundary
Inclusion of St Margaret's Church and land in-between	St Margaret's is one of the defining buildings of the CA but sits outside the boundary	Loss of buildings around the church and introduction of ring road mean the only link between church and area is a long-distance view	Do not include in CA but highlight importance in appraisal

Appendix III. 1886 Ordnance Survey Map



CHURCH GATE CONSERVATION AREA Draft Management Plan

January 2017



CHURCH GATE CONSERVATION AREA

Draft Management Plan



(Draft Church Gate Conservation Area Management Plan, January 2017)



Leicester
City Council

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I.0 Introduction



Church Gate looking towards the City Centre.

The aim of this document is to help guide change within the Church Gate Conservation Area to ensure it enhances its special character and quality.

Development can bring welcome investment into a conservation area and change can keep an area vibrant and allow for it to thrive. However, inappropriate development can not only harm the character of individual buildings, but erode the very features that give the conservation area its special character.

It is the intention that this management plan will be a guide for property owners, developers, council officers, elected members and interested members of the public in both the best way to care for the properties and public realm and what works will be likely to be granted planning and listed building consent where needed.

The character of the conservation area has been defined in the 'Church Gate Conservation Area Character Appraisal', which is available to download at www.leicester.gov.uk; this management plan should be read in conjunction with that appraisal.

2.0 Policy Context



This document supplements and expands on national and local planning policy. Its purpose is to help building owners, their agents and architects along with planning professionals interpret and apply statutory requirements, national and local planning policy in the Church Gate Conservation Area.

3.1 Statutory Designation

A conservation area is designated by the local planning authority, but has national protection. It is designated because it is an area where the character or appearance is considered worthy of preservation or enhancement.

Planning policy is weighted towards enhancement (see below). All planning applications in a conservation area are considered on the basis of whether the proposal preserves or enhances the character and appearance of the area. Alongside the greater weight given to character and appearance in planning applications local authorities should publish proposals for management of the area, outlining plans which preserve or enhance the area.

3.2 National policy

The overall aims and objectives of national policy are to promote sustainable development. National policy recognises that the historic environment, including conservation areas, has a key part to play in creating sustainable places. National policy places greater weight on enhancement, and asks local authorities to look for opportunities for development to enhance conservation areas. It also requires appropriate justification to be provided where works would affect the character or appearance of the area.

3.3 Local policy

Local policy makes a commitment to seek opportunities to enhance the historic environment including the character and setting of designated and other heritage assets. It supports the sensitive reuse of high quality historic buildings and spaces, promotes the integration of heritage assets and new development to create attractive spaces and places, encourages contemporary design rather than pastiche replicas, and the protection and where appropriate, enhancement of historic public realm. Particular importance is given to the integration of the historic environment with new development through encouraging heritage-led regeneration. For a full break down of relevant statutory protection, national and local planning policies please refer to appendix A.

3.0 Vision

Our vision is for the Church Gate Conservation Area to retain its special and unique character and to provide an interesting commercial and residential environment, which is both commercially successful and a beautiful place to live, work and visit.

Opportunities will be sought to restore lost building features and allow buildings to fulfil their potential as viable businesses and residential accommodation.

New development should be designed to respect the historic character of the street with reference to the scale, design and materials of the area.

Opportunities will be sought to reduce the impact of vehicular traffic on the area and to ensure a pleasant and safe pedestrian environment at all times of the day.

There are five key areas of influence that this Management Plan will cover and provide guidance for, these are as follows:

1	Planning Applications	Guidance on how to process planning applications, which are submitted and impact on the character of the area
2	Compliance and Monitoring	Guidance on taking action where work has taken place that harms the character of the area, without the necessary planning consent
3	Enhancement Opportunities	General guidance on what can be done to enhance existing buildings and structures to improve the character of the area
4	Public Realm	Guidance on how the public realm and highway land can be enhanced to improve the character of the area
5	Specific Site Development Guidance	Development guidance for specific sites within the area to ensure their development is consistent with the character of the area.

4.0 General Principles

The Church Gate Conservation Area Character Appraisal contains a character map which sets out whether buildings are listed, have a positive, neutral or negative impact on the character and appearance of the area. It also identifies the open and undeveloped land and the impact it has on the area.

4.1 Buildings

As the Conservation Area is a part of the city centre it is developed at high density and most of the land is built up. The majority of buildings contribute towards its special character. Many of the buildings have stood for over 100 years and have had many uses and alterations in this time. These alterations may have harmed or improved their character; regard should be given to the impact of any future alterations and efforts made to ensure there is no further loss of character and opportunities are taken to restore lost character.

4.2 Listed Buildings

Listed Buildings are designated nationally for their special importance and have the highest level of protection within the area. Listed building consent will be required from the City Council for any works which affect its special character; this applies to both internal and external works. As each listed building is unique it is not possible to give generic guidance, however, consent is only likely to be granted for works which respect the special character of the buildings in terms of materials, design, scale, historic features and room layout.

Planning permission will be required for works to the exterior of a listed building where they would materially affect the external appearance of the building.

The impact on the setting of a listed building is also a key consideration for works that need planning permission close to, but not adjoining a listed building – this can include impact on long views where the view is part of the building's special character.

4.3 Buildings with a Positive Character

Along with the listed buildings, these buildings, and their relationship to others form part of the special character of the conservation area, which is worthy of preservation.

This assessment is based on the overall appearance of the building as well as its potential to be enhanced. Positive buildings may have negative elements such as insensitive windows or excessive signage, but these elements do not override the importance of the building or its overall positive impact on the character of the area.

There is a presumption in favour of retaining these buildings; demolition should only be permitted in exceptional circumstance or where the wider public benefits of the proposal, involving demolition can clearly be demonstrated to outweigh their loss.

The value of these buildings should be considered both on their individual merits and on how they relate to the wider street scene they form; no building should be considered in isolation of its impact on the wider Conservation Area.

Any alterations, which would affect the character or appearance of these building and wider area should only be acceptable where the character and appearance of the both the building and conservation area is preserved or enhanced.

4.4 Buildings with a Neutral Character

These are buildings which do not form part of the special character or appearance of the area, but also do not detract from its character. These tend to be more modern developments and may be of unsympathetic building materials and techniques but are of an appropriate scale and massing.

Critically, they do not harm the character of the area and may be 'lost' within a street scene. The buildings may be interesting in their own right, just not in character with the predominant character and appearance of the Conservation Area or may have lower design and construction standards than the positive buildings within the area.

There is no presumption in favour of retaining these buildings but any replacement development must respect the character and appearance of the Conservation Area and new developments should be designed in a way that respects and enhance the character of the area.

The fact that a building has a neutral impact is not a valid justification to allow inappropriate development that would harm the character and appearance of the wider conservation area.

4.5 Buildings with a Negative Character

A small number of buildings within the area have been identified as having a negative impact on its character and appearance. These are buildings which are out of scale or character with the surrounding buildings to the point that they harm the street scene and the setting of the surrounding buildings.

Redevelopment of these sites in a way which would enhance the character of the area is welcomed, but the fact that the existing building harms the character and appearance of the area is not justification to allow development that doesn't respond to and or is equally or more harmful to its context.

Opportunities should not be missed to enhance the area through sensitive development of these sites.

4.6 Open Spaces and Greenery

Open and green spaces have a significant impact on the character of the area. Where designed and managed well they can provide a welcome spaces for greenery, biodiversity and views. Poor quality open spaces can detract from the appearance of the area through being poorly maintained or paved in unsympathetic materials.

Open spaces may be specifically designed or have been created by the demolition of buildings through redevelopment and highway works. Some open spaces may have a use, which utilises the land such as defined car parks, parks and gardens, while others may be temporary gap sites.

For spaces which are intended to be long-term open spaces these should include sensitive use of surfacing, soft landscaping including, walls and boundary treatments. Where a space is temporarily vacant, or is awaiting long-term redevelopment, efforts should be made to ensure the space is sensitively screened consistent with the prevailing character of the area.

Further guidance on specific sites, which could be suitable for redevelopment, is contained later in the document.

4.7 Open Spaces with a Positive Character

Open spaces identified as positive in the character appraisal have been designated for their valued openness as much as the quality of the landscaping. At present such positive spaces include areas which have the potential to be enhanced; the existing surface treatment may not be sympathetic, but the openness of the space should be retained.

These areas should be maintained for the qualities that give them their unique characteristics. Development should be resisted that would harm this character or replace it with a lower quality environment.

4.8 Open Spaces with a Neutral Character

Open spaces identified as having a neutral impact have the potential to be managed in a way that can improve their overall appearance as an open space, but may also be suitable for sensitive redevelopment if the overall character of area can be maintained.

4.9 Open Spaces with a Negative Character

Negative spaces are those which are open, but this openness harms the character of the area. These sites would be suitable for sensitive redevelopment. It is not likely these spaces could be improved to become high quality open spaces that make a positive contribution to the character by reason of their specific site characteristics but improved landscaping could enhance their appearance in the short term.

5.0 Planning Applications

Planning applications for works within the area

Planning permission is needed for a number of works within the area including:

- Alterations to existing buildings including replacing windows and doors
- Change of use of buildings to some other uses.
- New buildings and hard landscaping
- Control of advertisements

5.1 Alterations to existing buildings

The majority of planning applications submitted relate to the existing buildings within the area. These should be assessed on their impact on the character of the building and their impact on the wider area.

The character of buildings within the area is composed of a number of elements which may be present in all or some of the buildings. Below is a list of common treatments of these elements and guidance on how they should be addressed to help maintain or enhance the character of the properties. As all properties are unique, guidance will not always apply.

In cases where special character has been lost, this can also guide sensitive replacement of lost character.

5.2 Walls

As brick walls are a key characteristic of the area it is desirable for these to remain as exposed brick. Even where buildings may have a neutral impact on the character of the area, exposed brickwork is generally preferable to cladding or painting.

Where works involve the insertion of new brickwork every effort should be made to match new bricks to the appropriate historic brick to the property in terms of size, shape, finish and bonding as well as the appropriate mortarwork.

Cleaning should be done sensitively and to protect the surface of the bricks from damage abrasive or chemical methods should be resisted. Particular care should be taken with older properties that may have hand-made bricks. These are typically softer and more porous than machine-made ones.

Repointing of historic brickwork should be done with an appropriate lime-based mortar which allows moisture penetration and is not harder than the surface of the bricks.

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5.3 Roofs

Where slate roofs survive and have a positive impact on the character of the building and area it should be retained and repaired. If the slates are beyond repair, they should be replaced on a like-for like basis in respect of material, size, depth of profile and colour.

The use of 'mock' or synthetic slates should be resisted as it is currently not possible to replicate the variation in colour, finish and weathering provided by natural materials. In addition, it is not a historically appropriate material to the area.

In buildings where the roof is hidden from view it is not as important to secure a traditional roofing material.

5.4 Roof extensions

Roof extensions should only be allowed where they would not harm the character of the host property. Where a property has a prominent slate roof, this should be retained and part of its character and it may not be possible to extend upwards.

5.5 Chimneys and Pots

Chimney stacks and pots which make a positive contribution to the character of the building and conservation area should be retained and repaired.

Demolition of chimneys which make a positive contribution to the character and appearance of the Conservation Area is not likely to be acceptable.

5.6 Windows

Existing windows should be retained where they are historic or have a positive impact on the character and appearance of the building and area. Sensitive repair will be supported.

In all cases uPVC windows are not an appropriate material for windows, which form part of the character of the conservation area and will be resisted in all cases.

Where windows, which make a positive contribution are beyond a reasonable state of repair replacement windows will only be acceptable where the following criteria are followed:

Material

The material should match the existing. Timber will be the only acceptable material to replace existing timber windows.

Double glazing

Where windows are single-glazed – double glazing will only be permitted where the existing window proportions and decorative details can be replicated.

In listed buildings, or where windows contained stained and leaded glass double glazing is unlikely to be acceptable.

Opening method

The opening method of a window should remain appropriate to the building. Sliding sashed will need to be replicated in kind.

Top-hung mock-sashes should be avoided in all cases.



Historic windows that have depth of profile, a traditional opening method and material.

Glazing bar pattern and decorative details

Glazing bars and frames must be replicated exactly. Surface applied, internal or other mock glazing bars will not be acceptable.

Location within reveal

Sash windows are typically set one brick width back from the front elevation. This is an important historic and decorative window and must be replicated in new windows. Replacement windows must be set in the same location within the window reveal as the historic window has been.

Passive ventilation

Where passive ventilation is required to meet other legislation it must not be applied to the frame of the window. Where required it should be located in a way that does not interrupt the façade through using existing vents or air bricks. If no other options are available, they should only be allowed in the window frames where they do not harm their overall appearance.



Inappropriate replacement windows which have 'flattened' out the façade.



Poor quality replacement windows:

- Plastic frames – brilliant white
- Chunky frames, flat profile
- Mock glazing bars
- Non-traditional opening method
- Set flush with brickwork
- Prominent trickle vents

Good quality replacement windows:

- Timber frames – painted off-white
- Deep frames strong profile
- Structural glazing bars
- Traditional opening method
- Set within reveals
- No trickle vent visible

5.7 Sills, Voussoirs, Tiles and Decoration

Many buildings in the area have often modest decorative details on the façade to provide interest. These should be retained and re-instated where lost. Such decorative features should be incorporated into new build where appropriate to the design of the building.

5.8 Access Doors and Gates

The majority of properties in the area have shopfronts, but there are also a number of doors to properties that do not relate to shops, such as street access points to rear yards and workshops or entrances to upper floor flats. There are very few original doors left and many have little historic precedent.

The most important factor is to ensure these doors fit in with the buildings and the wider area. Simple timber doors would be appropriate in most cases; however, in some instances metal-framed doors may be suitable. UPVC is not an acceptable material.

Some properties have access gates to rear yards; where there is need for visibility through to the area behind; simple metal gates are likely to be appropriate. Where visibility through to the rear is not important, simple timber gates would generally be preferable.

5.9 Flues and extracts

Modern building uses often have need for a flue to serve a commercial kitchen or extract flues for mechanical ventilation. Wherever possible, these should be located on elevations where they are not visible from the public highway,

Where this is not possible, they should be screened or located to minimise impact on the building. It is generally preferable to locate vents in sensitive and considered locations within brickwork rather than going through windows.

5.10 Rainwater goods

Cast metal is the most historically appropriate and visually pleasing material for rainwater goods. Replacement goods should be constructed of cast metal painted black, uPVC alternatives are not likely to be acceptable.

Decorative brackets and hoppers should be retained wherever possible and replicated if appropriate.

5.11 Shopfronts

Despite the historic character of the street, very few properties retain historic shopfronts. Many properties have unsympathetic shopfronts dating from the mid twentieth century.

Where a historic shopfront does remain, it should not be removed unless it cannot be repaired. If beyond repair, a shopfront would need to be replaced in replica.

Some of the larger industrial buildings may retain historic elements such as cast-iron pilasters which should be retained and be incorporated into a new shopfront.

In buildings which do not contain historic shopfronts, the main consideration will be ensuring that the shopfront sits well within the wider building and area in respect of design and use of materials. Timber-framed shopfronts are preferable; metal framed shopfronts can be acceptable subject to design. UPVC-framed shopfronts are unlikely to be acceptable.

New shopfronts should be considered in context of the building in which they are located. Where shop units have been combined the shopfronts should still respect the historic buildings above.

5.12 Shopfront Security

There are a number of late night venues in the wider area, which can lead to an increase in public order offences in the area, particularly associated with the evening and night time economies. This has led to a number of business owners installing extensive shopfront security measures, in particular, roller shutters.

For historic buildings of traditional construction, it is not possible to accommodate an external roller shutter without harming the appearance of the building and wider area.

External shutters also lead to an impression that the area is at risk of crime, which reduces its attractiveness as a retail destination. Particular issues related to shutters are the projecting boxes at fascia level and the lack of visibility closed shutters which screen the shop windows and give an impression of an industrial estate rather than a historic street.

As such, the Council would advocate other security measures such as toughened glass and fully removable shutters. Options for located roller shutters internally should also be investigated.

Where shutters exist, measures should be taken to reduce their impact such as by locating the box internally and ensuring an element of perforation to allow visibility through when the shutters are closed.

5.13 Changes of Use

Being part of the city centre, the area is suitable for a wide range of uses consistent with the areas changing character. The changing use of a property is not likely to impact on the character of the area, but physical alterations necessary to allow a use to function remain material considerations.

Where changes of use require alterations to the physical appearance of the exterior of the building, these should be considered in context of the character of the area.

A new use may require or desire alterations such as new windows or doors, venting, extraction and security measures – these issues should be considered at an early stage to ensure any subsequent alterations can be designed to take full account of the character of the area.

5.14 Advertisements

As the majority of the area is commercial in character, there is an ongoing demand for a wide range of signage.

This is a key characteristic of the area and well designed and articulated adverts can add greatly to the streetscene and ensure its commercial viability.

Inappropriate adverts can over dominate buildings and harm the appreciation of the wider streetscene.

Good adverts are unique and eye-catching but don't screen out other elements of the building. Careful use of lighting can pick out key elements of a sign or architectural features of a building on which they are attached.

Poor quality adverts tend to be flat and appear as an alien feature on the building to which they are attached. Over-illumination can wash-out eye-catching details and be counterproductive.

Signage is best located at fascia level and should be in proportion to the shopfront with which it is associated. Illumination is likely to be acceptable where it is done sensitively and does not dominate the shopfront or building.

Signage above fascia level can lead to a cluttered appearance of the street and detracts from the character and appearance of the buildings and as such will be resisted.



Upper floor adverts that don't make a positive contribution to the streetscene by reason of their size and height above fascia level.

Allowances can be considered where a business has no ground floor frontage on which to display an advert. In these cases, adverts may be permitted where they enhance the overall appearance of the building on which they are located.

5.15 New Development within the Conservation Area

Given the built-up character of the area, there are unlikely to be many sites coming forward for development; guidance for the main areas of undeveloped land is included in a later section. Where new development is proposed, it should take account of the character of the area as set out in the appraisal and management plan.

New development should take account of the historic character of the site and should respect the character of the area with respect of scale, design, form and materials. All buildings within the Conservation Area will have an impact on its character and as such it is as important to secure sensitive new design as it is to preserve the historic building fabric.

New development does not need to be a pastiche of a historic building type and can embrace modern design providing sufficient reference is made to the character of the area.

Modern extension to existing buildings will only be acceptable where they retain the historic character of the main property.

5.16 Setting of the Conservation Area

As well as the buildings and sites within the conservation area boundary, there are a number of sites in the surrounding area which have an impact on its character through the role they play in its setting and framing.

These fall into two main categories:

5.16.1 Sites which border the conservation area

These sites typically contain buildings and sites which have been redeveloped in the twentieth century and have lost their historic context. They still have an impact on the character of the conservation area and insensitive development has the potential to harm the setting of the conservation area.

As such, should development on these sites come forward the impact on the conservation area will be a material consideration.

While buildings and spaces don't need to be of traditional or pastiche design they should not be of a height, scale or materials that would jar with or overwhelm buildings within the conservation area or lead to the loss of their historic interpretation.

Opportunities should be sought to enhance the setting of the conservation area through appropriate design.

5.16.2 Sites which affect long views

As well as protecting buildings within the area the character appraisal identifies key views within, looking into and looking out of the Conservation Area.

The impact on these identified views is a material consideration of any planning application. Development should not be allowed that would interrupt or harm any of the key views. This could be through:

Obstruction	Where building or structure would be set in the foreground which would obstruct or impede a key view
Encroachment	Where a building or structure would be on an adjacent site which could harm the way a view is framed or set against the sky.

Once views are lost or damaged, this loss is likely to be permanent, so care must be taken at an early stage that none of these key views are harmed through new development.

5.17 Archaeology

The Conservation Area and surrounding streets fall within the Archaeological Alert Area. The impact on any proposal which involves new groundworks on local archaeology will be a material consideration of any application for planning permission.

5.18 Trees

There are a number of mature trees within the area which make a significant positive impact on the character of the area. Every effort should be made to retain these trees in a healthy condition.



The Highcross Shopping Centre has a significant impact on the setting of the conservation area.

Where trees are lost through death and disease, they should be replaced with suitable replacements wherever possible.

Opportunities to introduce new trees to the area must be carefully considered in context of the existing character of the area and long view into, within and out of the area.

6.0 Compliance and Monitoring

Enforcement is important to the success of any management plan. Ensuring that permitted works have been executed properly and that any unauthorised works are investigated and dealt with appropriately is important in maintaining and been seen to maintain the character of an area. Part of this work is proactive monitoring of the area to identify any breaches and also to gather baseline evidence which can be used as evidence in any action.

Where works have been done without the relevant planning, listed building or advertisement consent, the City Council will investigate to see if these breaches harm the local environment. If harm is found to be caused, appropriate action will be taken.



Bond Street benefits from sensitive property signage appropriate to the area

The following are among the options the city council will consider using to address unlawful planning works:

- Urgent Works Notices
- Repairs Notices
- Prosecution
- Stop Notices
- Listed Building Enforcement Notices
- Planning Enforcement Notices
- S215 Notices
- Discontinuance Notices

These will be used in line with Leicester City Council's enforcement policy.

The publication of this guidance will be a material consideration in the action that the council takes and how retrospective planning applications are considered.

7.0 Additional Local Powers

As part of the overall enhancement and management of the Conservation Area the use of additional local powers will be considered, including:

7.1 Article 4 directions

This can require works which are normally permitted development to require a planning application. Full policy considerations are applied to proposals. If the proposals do not comply with policy then the application can be refused.

Such directions are most effective in areas where properties benefit from extension permitted development rights for external alterations. While this is not the case in the conservation area as the majority of properties are in commercial or flatted use.

An issue has been identified in the character appraisal regarding a loss of character caused by painting of traditional brick buildings; this work does not need planning permission as it is permitted development.

The loss of character caused by painting is evident and there is scope for further harm through painting of currently unpainted buildings. Further to this, should steps be taken to remove paint from existing buildings, it would be regrettable if there was no control on such buildings being re-painted.

An article 4 direction to remove the permitted development right for painting is therefore recommended for all properties within the area.

There is a specific and identified threat caused from painting, but there are no other present threats being caused by works which can be done under permitted development rights. As such the direction can be specific to painting alone and not include the removal of any other rights.

It is the intention to implement this direction within a year of the publication of this management plan.

7.2 Special Area of Advertisement Control

This can require works which are normally deemed consent to require advertisement consent. Full policy considerations are applied to proposals. If proposals do not comply with policy then the application can be refused.

Given the commercial nature of the street and proliferation of adverts at present, it is not considered to be the right time to implement such a direction. At a future date, once the current guidance has been in place and action taken on existing unlawful and defunct signage – this situation may be reviewed.

8.0 Enhancement Opportunities

The guidance and advice in sections 4 and 5 relate to reactive considerations for submitted applications and unlawful works, but there are a number of works which could be carried out proactively and outside the planning process, which would enhance the general appearance and historic character of the area.

8.1 Improvements to existing buildings

Opportunities should be taken to improve and restore public facing elevations of buildings to help retain and enhance the historic character of the area. Funding opportunities should be sourced to help fund these improvements. Key improvements include:

- Encouraging and facilitating repair and restoration of historic frontages, in particular the removal of inappropriate paintwork wherever possible;
- Re-introduction of historically appropriate windows, doors and shopfronts to buildings where they have been insensitively replaced;
- Removal and relocation of general clutter such as satellite dishes, CCTV, wires and cabling to elevations not prominently visible from the public highway;
- Removal of inappropriate advertisements, especially defunct ones on upper floors of buildings.

8.2 General Opportunities

8.2.1 Façade improvements

On outward appearance, many buildings in the Conservation Area suffer from a general lack of care; this in turn is creating an unwelcoming appearance which detracts from the area and can deter investment.

8.2.2 Removal of paint

Wherever possible, steps will be taken to secure the removal of paint and inappropriate render from the façade of buildings within the area. Where the brickwork is damaged or the bricks cannot be cleaned, re-painting will be supported only with 'breathable' paint that doesn't trap moisture within the brickwork.

8.2.3 Cleaning of buildings

As they age, buildings take on the dirt of the urban environment. Cleaning can often refresh the appearance of a building, but it is unlikely they can ever be returned to an 'as new' finish as materials absorb impurities within their fabric.

When cleaning buildings of traditional construction, care must be taken not to damage the fabric of the building with aggressive or abrasive treatments. Historic building materials are often much softer than modern ones and less able to withstand modern cleaning techniques.

They are also liable to break-down with aggressive treatment which can cause long-term irreversible damage. As such, lighter steam cleaning or poultice treatments are likely to be the only acceptable treatments.

8.2.4 Windows and Doors

Windows make up a significant proportion of the elevations of most buildings within the area and form a significant element of the decorative detail. In most cases there is a high level of retention of original windows or later windows that are sympathetic to the original building.

In some cases, unsympathetic replacement windows have been installed, some before the designation of the Conservation Area in 2006, while others may have been installed without the benefit of planning permission. As window technology has developed, it is now possible to make more sympathetic replacement windows and, as such, where planning permission was granted for replacement windows historically, it may have been based on available technology.

Reinstatement of more historically sympathetic windows to a building can have a significantly beneficial impact on the appearance of a building and the wider area.

Wherever possible and particularly in identified key buildings, efforts will be taken to ensure inappropriate and harmful windows are removed and replaced with more historically sensitive replacements.

Access doors have a lesser impact on the area but still form an important part of the street scene. Doors which are of inappropriate material and design can mask the historic character of the area and don't help to realise its full potential and, at worst, detract from the character of the area.

8.2.5 Shopfronts

A high proportion of properties within the area have shopfronts, which have either a neutral or negative impact on the character of the property within which they sit.

It is not necessarily desirable to install a faux historic shopfront into a building where there is no indication as to what the original shopfront may have been, if indeed the property historically had a shopfront.

As such the aim is to ensure whatever shopfront is installed fits in with the character and proportions of the area and allows it to serve its function.

Key buildings will be targeted for shopfront improvements.

8.2.6 General clutter

As part of a general maintenance programme, defunct clutter such as cables and wires, hanging baskets and brackets, satellite dishes, alarm boxes and CCTV boxes should be removed.

Church Gate forms part of the citywide festive lighting scheme and, as such, permanent brackets are fixed to the facades of a number of buildings. As this represents part of a citywide decoration scheme they are an acceptable if unfortunate building accretion. Opportunities to develop a less harmful system should be investigated at the appropriate time.

A number of buildings on the street also have street lights attached to the façade. While this has an unfortunate impact on the buildings, they do reduce clutter within the public realm.

8.3 Advertisements

The general street scene is let down by poor quality advertisements, particularly at high level, which are no longer relevant as the businesses detailed have stopped trading.

They can often show significant signs of weathering and neglect and, as such, can disproportionately affect the appearance of a building and the wider street.

- Where advertisements are no longer needed and either have no consent, or their consent has expired, the council will take steps to ensure these are removed.
- Where advertisements have been in place for more than 5 years and their consent has lapsed, an assessment will be made as to whether or not these consents will be renewed and whether a discontinuance notice would be appropriate.



8.4 Vacant Buildings

The best way of retaining historic buildings and the character of the area is for the buildings to be well used and occupied. Buildings within the area are generally well-used. Where properties are long-term vacant the city council will take the steps to try to encourage re-use.

9 – 15 East Bond Street – this handsome row of properties could be enhanced through the removal of excess clutters, more unified shopfronts and sensitive removal of paint from the first floor.

Long-term vacancy will not be a justifiable reason to allow for demolition unless it can be demonstrated that all available options for re-use have been looked-into.

9.0 Public Realm and Open Space Strategy

9.0 Public Realm and Open Space Strategy

The quality of the public realm has a significant impact on the appearance of the Conservation Area. It should be designed to reflect the intrinsic character of the area while providing a pleasant and uncluttered environment which allows space to rest, and reflect but also encourages movement and interaction through the area.

The strategy implemented should work with the character of the area and be used to highlight key building entrances and features, as well as helping to frame key views such as St Margaret's Church.

The majority of public realm improvements will be common throughout the whole area, but certain elements, particularly the types of surfacing used will be specific to the identified character area in which they are located.

There is a wider City Council aspiration to pedestrianise the section of Church Gate between East Gates and Mansfield Street. This would have a significantly positive impact on the quality of the public realm within the Conservation Area and would fundamentally alter traffic flow and reduce the need for associated signage. Should the pedestrianisation scheme not take place, the public realm enhancements will be limited.

The principles set out below will be applicable in either case but will be significantly improved with the implementation of the pedestrianisation scheme.

General Principles

The following principles will apply to the whole conservation area and will help provide an uncluttered environment that enhances its historic character.



*Artist's Impression of Church Gate
Reducing clutter in the highway can
enhance the historic character and
improve the environment.*

Historic features

Historic features can include paving materials such as setts or kerbstones or cast iron street furniture and nameplates. Historic features worthy of preservation are set out in the character appraisal; where such historic features remain, they should be retained in situ wherever possible.

Right: Historic setts and kerbstones on Butt Close Lane.

Far right: 19th Century Cast-iron lamp on Church Gate.

Bottom: Robust cast-iron nameplates such as this add to the historic character of the area should be retained.



Pavements

The amount of highway space dedicated to pedestrian footways should be maximised with due consideration being taken for users with alternative mobility requirements. Where vehicular movement is necessary there should be clear delineation between vehicular and pedestrian pavements.

Surfacing

The surface used for the pavements and carriageway contribute significantly to the character of the area. High-quality natural materials would be desirable but there may not be sufficient depth between existing levels and cellars/ services to accommodate the depth of foundation for stone paving.

A suggested finish is to have natural aggregate topped block pavements; with a contrasting tarmac roadway. There needs to be a clear contrasting delineation between pathway and roadway. Block paving can accommodate a range of colours but should avoid high contrasts which could be garish. Areas of interest can be marked out in a different finish.



Contrasting materials can be used to denote the entrance to key buildings as shown here on Silver

The palette of colours used should be minimised and generally muted to avoid competing with the character of the buildings.

Street Lighting

Street lighting which does not contribute towards the historic character of the area should be replaced with either historic replicas or with co-ordinated modern lights with intrinsic aesthetic interest.

Street Furniture

Street furniture including bollards, bins, benches bike stands and other freestanding structures within the highway should co-ordinate with each other and tie-in with similar features elsewhere within the city centre. An appropriate and sensitive colour palette should be chosen to achieve this. It should be kept to a minimum and carefully positioned to avoid clutter or hindrance to pedestrian foot flow.

Seats and benches should be angled in such a way to take advantage of the important views and buildings within the area whilst taking in consideration limitations of the highway layout.



Individual chairs can be located to provide space for conversations as demonstrated in Cathedral Gardens.

Bus Stops

There are a number of bus stops on St Peters Lane. These help add activity to the area and do not interfere with important buildings; they are also in a generally good state of repair. Should these be moved, care should be taken they are not moved to insensitive locations.

Freestanding Poster Adverts and Maps

These should be minimised and located away from the more sensitive parts of the area. They should be maintained in a good state of decorative repair.

Traffic Direction & Regulation Signs

These should be kept to the minimum needed in line with current highway regulations and kept to the minimum possible size. The need for such signs as well as number and size should be reviewed as the regulations are amended.

Street Markings

Use of street markings should be kept to the minimum needed in line with current highway regulations and kept to the minimum possible width. The need for such markings as well as number and size should be reviewed as the regulations are amended.

Hanging Baskets

While these can be pleasant in the short term – they are intrinsically seasonal in interest. As such movable structures are preferred which can be taken away when no longer needed. Permanent structures, with the sole purpose of providing support for hanging baskets should be resisted; any such existing structures should be removed and options to combine them with other columns should be investigated.



Narrow yellow lines on Church Gate are a way of ensuring correct highway regulations are met while minimising their potentially harmful impact.

Raised Planters

These can often take up significant highway space and provide limited options for planting. Other ways of providing greenery, which require less structural elements and provide a better use of limited space, will be preferred. A mixture of hard wearing grasses, perennials and herbs should be planted in the alternatives to create attractive and interesting pockets of foliage.



Raised planter appears chunky and has increased maintenance requirements.



Street level planting on Peacock Lane sits better within the highway.

Street Trees

The introduction of trees to an urban street can provide additional interest and beauty to an area as well as improving its biodiversity. Care must be taken to choose the right trees that will enhance the urban environment and not block key buildings and long views. Trees should be of an appropriate size and ideally provide year-round interest. Advice on appropriate species should be sought from the city council's trees and woodlands section; who can also advise on correct planting techniques.

Cellar Lights

There are no cellar lights visible on the highway; should any be un-covered, they should be retained where possible as interesting historic features. Their removal will only be accepted if they are beyond reasonable repair.

Phone Boxes

These should be removed where they are no longer needed. If they are needed, they should be cleaned and refurbished.

Architectural Feature Lighting

It may be appropriate to light certain buildings within the area at night to highlight key features and enhance the night-time economy.

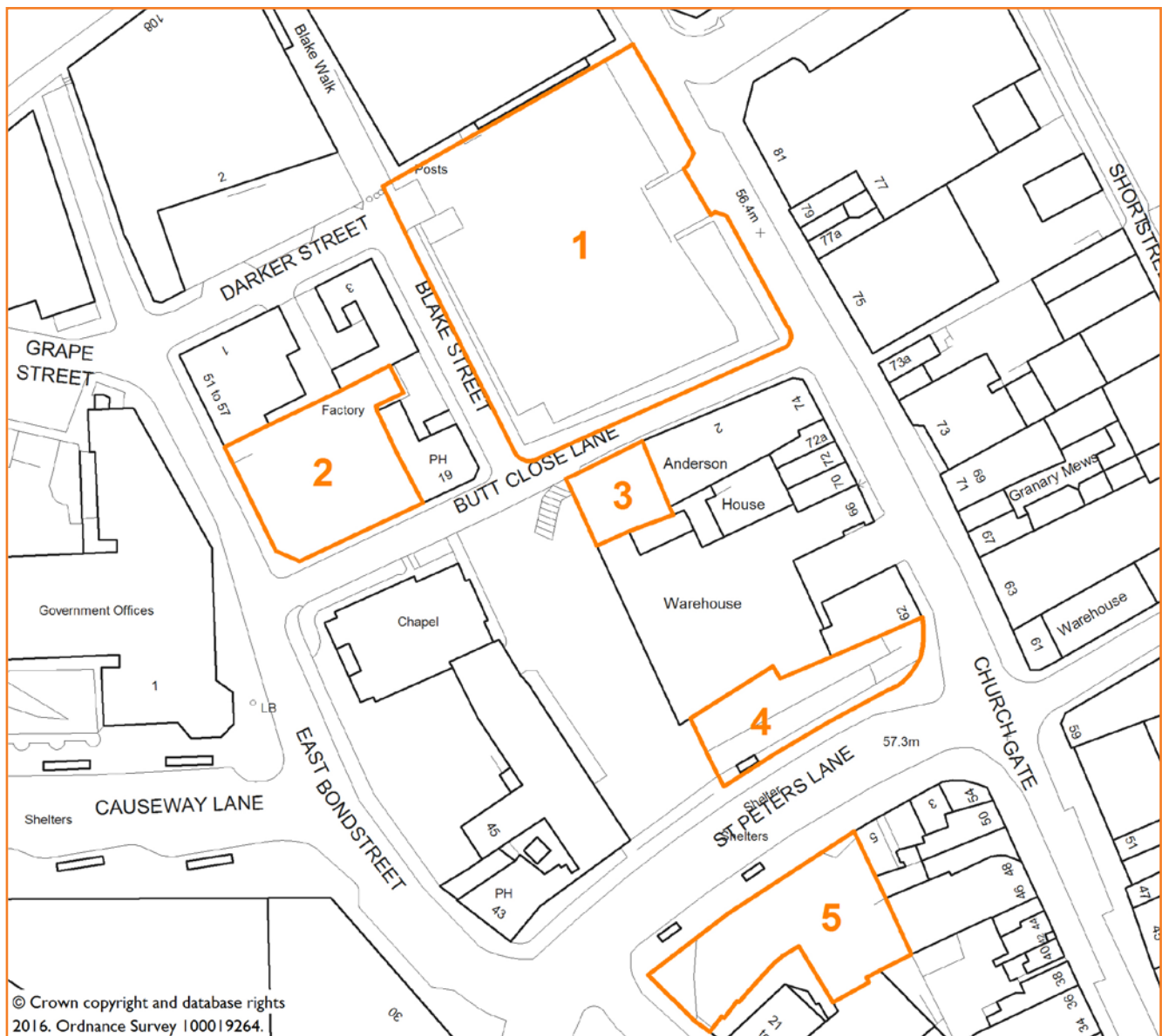
Where used, a minimalist approach should be used that avoids flooding a façade with light; instead certain characteristics can be picked out. The colour, brightness and impact on biodiversity in the area should be taken into careful consideration when specifying feature lighting.

10.0 Guidance for Undeveloped Land

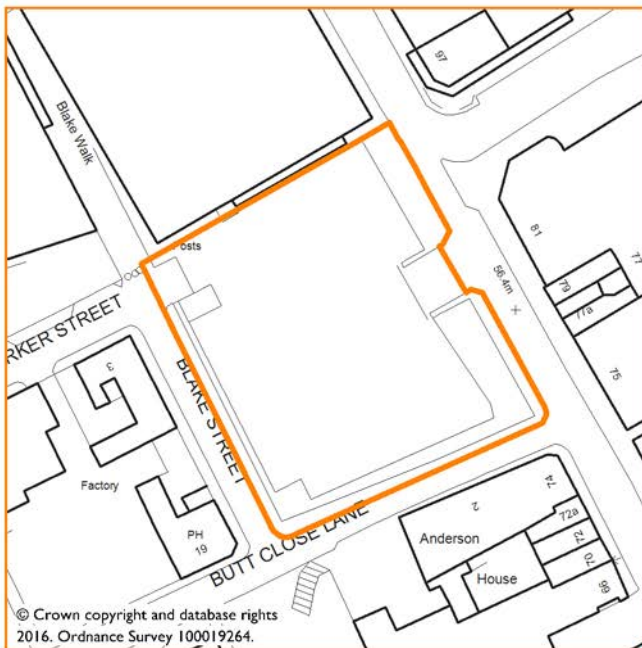
There are a number of key plots of land within the area, identified as being of neutral or negative character that would either benefit from redevelopment with new buildings or better surface treatment. These are:

1. Matalan Car Park;
2. Car Park at Butt Close Lane and East Bond Street;
3. Car Park to 66 Church Gate (on Butt Close Lane);
4. Corner of Church Gate and St Peters Lane; and
5. Corner of East Bond Street and St Peters Lane.

This is intended to be a summary of spaces within the Conservation Area that may come forward for redevelopment at some point. If they do, this guidance should be used as a guide to the key considerations.



10.1 Matalan Car Park



- This plot of land is historically interesting as it is broadly the area that it is believed to have been used as practice ground for archery in Medieval times.
- Since then it has been subject to a series of developments, firstly with a school and small housing in the 19th century. The school made way for a large vehicle garage which lasted from the 1930s until the 1970s. The housing was cleared in the 1960s.
- The current retail unit of Matalan dates from the 1980s and the land has been used as associated car parking ever since; it is also open as a privately owned general car park.
- As such there is historic precedent for the land being developed or left open.

The site works well as a car park and is surrounded by semi-mature trees which are an asset to the area. However, the interaction of the car park with the public highway is poor.

The site is surrounded by a dwarf wall made from red engineering bricks, which does not add positively to the appearance of the area. Public access is also limited and, as such, there are unofficial paths through the low level planting.

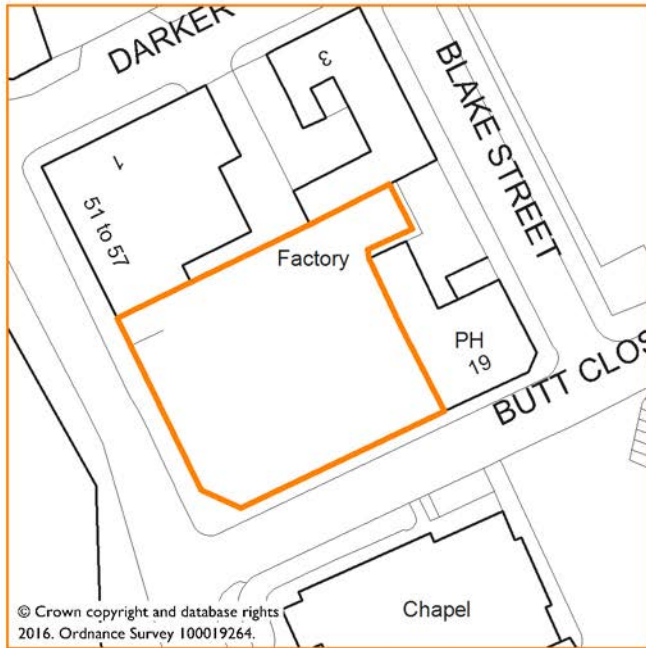
There is also an issue with the service entrance and bins being stored at the end of Blake Street.

It would be desirable to see this car park re-landscaped to improve its visual amenity within the area.

Should the site come forward for development:

- There is likely to be important archaeology on the site as it is within the old Roman and Medieval walls. This must be investigated as part of any scheme;
- Any development on the site should respect the prevailing pattern of development within the area and the scale should be no higher than 3 storeys;
- The view of the timber warehouse at the rear of 66 Church Gate from Blake Street must be preserved;
- Active frontages should be provided to Church Gate, Butt Close Lane and Blake Street;
- Trees, shrubs and soft-landscaping should be retained as a key feature.

10.2 Car Park at Butt Close Lane and East Bond Street



This area of land appears to have been developed as housing in the mid-19th century.

The houses survived until the mid-20th century when the row adjacent to the Salmon was cleared. The houses on the corner of East Bond Street and Darker Street appear to have survived as they were knocked through into a single commercial building, having their roofs removed in the process.

The car park use appears to date from the mid-1980s.

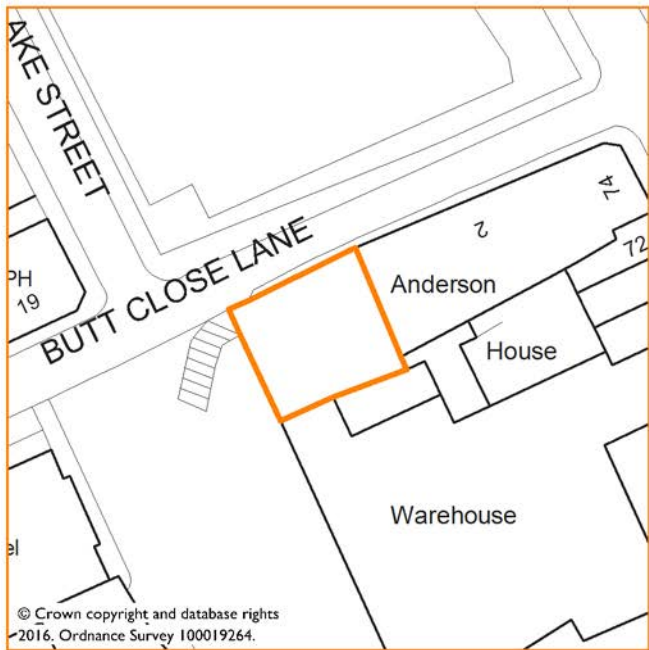
It would be preferable for this site to be developed as the openness of the site does not bring the same benefits as the Matalan Car Park site.

The open space is dominated by the gable walls of 51-57 East Bond Street and The Salmon Public House and, as such, it gives the feeling of a gap site. The site is not well overlooked.

The site would lend itself to a small row of dwellings or a small block of flats. Any redevelopment would need to take into account the impact on the adjacent Great Meeting Chapel and Butt Close Lane wall.

Should the space remain open as a car park, efforts should be made to improve the landscaping, both in respect of the boundary walls and the layout and treatment of the site.

10.3 Service Yard and Car Park r/o 66 Church Gate (access from Butt Close Lane)



This small area of land used to contain a small row of houses, which were demolished in the early 1970s to improve vehicular access to the main use of 66 Church Gate.

The land is now covered with black-top tarmac with no boundary treatment to the front or landscaping within the site. As such the space itself has a negative impact on the appearance of the area with a long dropped-kerb with cars and vans parked in haphazard fashion.

There is however a strong benefit to this site being undeveloped however as it affords views of the side elevation of the listed timber warehouse at the rear of 66 Church Gate.

Given the built-up character of the surrounding area, this is the clearest view of the building from the public realm and has become key to its character.

As such, this site should now be kept undeveloped to allow for continued views of this important building.

As such should the site come forward for development, no building or structure should be allowed that would impede on views of the timber warehouse from Butt Close Lane or Blake Street.

Sensitive landscaping and boundary treatment would be supported.

10.4 Corner of Church Gate and St Peter's Lane



Similar to the plot of land on the corner of East Bond Street, this plot of land has no historic precedence having been created when St Peters Lane was extended in the 1970s.

The site has no lawful use; planning permission had been granted for a building in the 1980 but it was never implemented. Instead, it housed five 48-sheet advertisement hoardings from the late 1970s until 2015 when a discontinuance notice was served.

The lack of building on this site increases the impact of the width of St Peters Lane and heightens the contrast between it and the more historic parts of the area; it also allows the flank wall of 62-64 Church Gate to be highly prominent, which detracts from the character of the area.

While the site has no historical significance as a site, there were previously buildings running along Church Gate. A building on this site that addressed Church Gate and St Peters Lane would add to the character of the area and provide an attractive corner feature.

Should the site come forward for development:

- A new building should be no higher than 4 storeys;
- Should address Church Gate, St Peters Lane and the corner in-between;
- Design should take influence from others in the area in respect of materials, scale, rhythm; and
- Use would lend itself to residential in the upper floors with an active frontage, possibly retail, at ground floor level.

10.5 Corner of East Bond Street and St Peter's Lane



This plot of land was created following the scheme to create the St Peters Lane extension in the 1970s. The plot of land follows the curve of the fencing between St Peters Lane and East Bond Street. The corner forms part of the public highway.

The site has a long-standing lawful use for a surface car park. From the 1980s until 2015, five 48-panel advertisement hoardings were in place on the fencing, but these have now been removed following the serving of a discontinuance notice. Remedial works to the fence have since taken place.

The openness of this piece of land on a key corner within the City Centre and the Conservation Area is to its detriment as it opens up unattractive views of the side and rear of adjacent buildings.

The site could be developed with a building to address St Peters Lane and East Bond Street, which would form a visual bridge between the buildings on Bond Street and Church Gate as well as providing a frontage to St Peters Lane.

A better development plot could be formed by integrating the corner of highway land. The decorative tower, which forms part of the Highcross Centre, could act as a visual feature to take reference from and create a gateway to Bond Street.

Should the site come forward for development:

- The prominence of the corner could allow for the building to be slightly higher than the adjacent building on Bond Street, but not more than 2 storeys higher;
- The building should address both Bond Street and St Peters Lane as well as addressing the corner;
- Design should take reference from other buildings in the Conservation Area; and
- Use would lend itself to residential/offices in the upper floors, while active frontages should be included on the ground floor to tie in with the adjacent shopping streets.

11.0 Contacts

Write to:

Conservation Team
Leicester City Council
City Hall,
115 Charles Street,
Leicester,
LE1 1FZ

Or Email:

planning@leicester.gov.uk

Or telephone:

0116 454 1000

Appendix A. Relevant Statutory and Policy Information

The Planning (Listed Building and Conservation Areas) Act 1990 allows local authorities to designate conservation areas. These are areas of special architectural or historic interest the character or appearance of which it is desirable to “preserve or enhance”.

Section 71 of the Planning (Listed Building and Conservation Areas) Act 1990 places a duty on local planning authorities to draw up and publish proposals for the preservation and enhancement of the conservation areas they have designated.

The statutory protection requires planning authorities to ensure that any new development which requires planning permission preserves or enhances the character and appearance of the conservation area.

The Enterprise and Regulatory Reform Act 2013 requires any demolition in a conservation area (over 115m³ or where demolishing boundary walls) to require planning permission.

The Planning (Listed Building and Conservation Areas) Act 1990 can be found at:

<http://www.legislation.gov.uk/ukpga/1990/9/section/59>

The Enterprise and Regulatory Reform Act 2013, schedule 17, which specifically refers to heritage, can be found at:

<http://www.legislation.gov.uk/ukpga/2013/24/schedule/17>

National Planning Policy Framework

Paragraph number	Summary
127	Conservation areas should justify their status
128	Provision of information on significance by applicants
129	Assessment of significance by local planning authorities
130	Evidence of neglect not material to decision making process
131	Local planning authority to consider the desirability of sustaining and enhancing the contribution of heritage asset, their positive contribution and the contribution of the new development
132	Impact of development on significance material; significance is proportionate importance of assets.
133	Substantial harm or total loss of heritage asset only to be allowed in exceptional and defined circumstance.
134	Less than substantial harm to be weighed against public benefits
135	Impact on non-designated assets carefully considered
136	Loss only to be allowed where steps taken to ensure redevelopment
137	Promote developments which enhance significance within conservation areas

Paragraph number	Summary
138	Loss of buildings in conservation areas can be substantial or less than substantial harm accordingly.
139	Non-designated archaeology can have same protection as scheduled sites.
140	Enabling development to be carefully considered.

For more details the complete national planning policy framework can be found at <http://planningguidance.communities.gov.uk/blog/policy/>

Further explanation and interpretation can be found in the accompanying practice guide at:

<http://planningguidance.communities.gov.uk/blog/guidance/conserving-and-enhancing-the-historic-environment/>

Historic England Planning Practice guide can be found at;

<https://www.historicengland.org.uk/images-books/publications/pps-practice-guide/>

Local Planning Policy

Leicester City Council Local Development Framework: Core Strategy key policies for the Church Gate Conservation Area are:

Core Strategy	
Spatial Objectives	Description
7	High Standard of design in new development.
9	Development of a strong city centre.
10	Preservation and enhancement of Leicester's heritage.
Policy Number	Description
2	Climate change and flood risk.
3	Designing quality places.
4	Strategic Regeneration Area.
6	Housing Strategy.
8	Existing Neighbourhoods.
10	Employment opportunities.
12	City Centre.

Policy Number	Description
16	Cultural Strategy
17	Biodiversity
18	Historic Environment

Saved Local Plan Policies	Description
UD06	Landscape Design
BE10	Shopfront Design
BE11	Shopfront Security

Heritage, Culture, Leisure and Sport Scrutiny Commission

Meeting date	Meeting items	Actions Arising	Progress
14th June 2016	<ol style="list-style-type: none"> 1. Committee Processes 2. Portfolio Overview 3. Sport centres and sport participation update 4. King Richard III visitor centre update 	<ol style="list-style-type: none"> 1. None 2. None 3. The presentation was noted; that the Head of Sport is asked to provide data on sports participation in Leicester; that the Head of Sport consult the Sports Engagement review completed in 2013 when drafting the physical activity and sports strategy; and for the commission to receive updates on the sports review throughout the year. 4. None. 	
15th August 2016	<ol style="list-style-type: none"> 1. Leicester City football club legacy - presentation 2. Findings from the scrutiny review: 'Capturing the potential economic performance of Leicester's heritage and culture' – report attached. 	<p>Minutes of previous meeting: brief update paper on the status of the new physical activity and sports strategy to come back to scrutiny in the autumn.</p> <ol style="list-style-type: none"> 1. For a report on investment in grassroots community football. 2. Review report and recommendations endorsed by members. 	
20th September 2016	<ol style="list-style-type: none"> 1. Market Square development. 2. Jewry Wall museum developments update 3. Scoping document: The role of the arts and culture in delivering therapeutic care. 	<ol style="list-style-type: none"> 1. For an update on the future market redevelops including details on the Alice Hawkins statue 2. For details of the design procurement and a report on the refurbishment of Jewry Wall to come back to scrutiny. 3. Scoping document endorsed by members. Task group invitation to be extended to health and well-being members. 	

Heritage, Culture, Leisure and Sport Scrutiny Commission

Work Programme 2016-17

15th November 2016	<ol style="list-style-type: none"> 1. New Walk Museum developments – Presentation 2. Bereavement Services update – report 3. Sports review update – report 	<ol style="list-style-type: none"> 1. None 2. For the marketing plan to include a section on creating a service that meets the needs of faith communities and to work to ensure that these needs are understood and met; and for the local authority to monitor the medical examiner service regarding the impact in terms of cost implications on bereaved families and the resources required to sustain this service. 3. For there to be regular monitoring of the strategy once implemented and for this information to be shared at scrutiny at an appropriate time. 	
12th January 2017	<ol style="list-style-type: none"> 1. Draft proposals for the Museum service to secure National Portfolio Organisation (NPO) status - report 2. Jewry Wall design developments - Presentation 3. Abbey pumping station progress update - report 4. Task group update – verbal update 5. Draft budget report 2017/18 	<ol style="list-style-type: none"> 1. That the Head of Arts and Museums is asked to identify if there are artefacts relating to Leicester’s working class history that can be displayed in 2017 in recognition of the centenary anniversary of the Russian Revolution 2. None 3. None 4. For the Scrutiny Policy Officer to submit the City of Culture 2017 bid to the task group to review segments in relation to the arts in health; and consider whether there is a suitable basis for developing a strategy directed at using the arts and culture for improving the mental health and well-being of residents. 5. None. 	

Heritage, Culture, Leisure and Sport Scrutiny Commission

Work Programme 2016-17

7th March 2017	1. Haymarket theatre proposals 2. Character Appraisal and Management Plan for the Church gate Conservation Area 3. Task Group update		
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Heritage, Culture, Leisure and Sport Scrutiny Commission

Work Programme 2016-17

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FORWARD PLAN / SUGGESTED ITEMS		
Topic	Detail	Proposed Date
Abbey Pumping Station Developments	Project update including artefacts and exhibits	
Animating public spaces	Commissioning out work to animate public spaces Strategy for the use of the space Outdoor spectacles	
Bereavement Services Update	Ensure effective marketing to compete with private providers Environmental impact of burials and cremations	15 th November
Completion of Centenary Walk		
Character Appraisal and Management Plan for the Church gate Conservation Area.		7 th March
Cultural white paper recommendations		
De Montfort Hall	Plans to increase income: Feasibility study Developments: extension of car park and work to improve visual impact of the building Draft plans at this stage	TBC
Development of a flag strategy	Flags in the City	
Development of plans to invest in key visitor attractions	Jewry Wall: Design procurement and refurbishment Abbey Pumping Station – investment and rationalising.	12 th January
Festivals	Diwali celebrations Review of sponsorships	15 th November
Football Investment strategy	Update on strategy	
Great Central Railway	Update on projects	
Haymarket theatre investment	Proposals for theatre Joint item with EDTT Scrutiny Commission? TBC	7 th March
Jewry Wall Museum	Developments: Last came to scrutiny on 20 th Sept	20 th September

Heritage, Culture, Leisure and Sport Scrutiny Commission

Work Programme 2016-17

King Richard III Visitor Centre	Visitor numbers and overall direction to include details of events to mark the anniversary of the re-interment of King Richard III	14 th June
Leicester City Football club legacy	Legacy and impact Report to come to scrutiny on investment in community grassroots football and young people.	15 th August
Market Square redevelopment	Last came to scrutiny on 20 th Sept Future update scheduled Corn exchange heritage building Market conservation area Link with Alice Hawkins statue	TBC
Museums	Museum service National Portfolio Organisation (NPO) bid	12 th January
New Walk Museum	Staircase developments	15 th November
Outdoor gyms	Installation of an additional 19 outdoor gyms Update on installation with input from public health	TBC
Potential economic performance of Leicester's heritage and culture scrutiny review update	Review findings to be presented – 15 th August Progress on recommendations – 7 th March 2017?	15 th August
Return on investment in HCL events and buildings	Costings and returns	
Review of Sports services	Option appraisal. Come back to scrutiny in Autumn: Brief update paper Strategic overview of strategy to include aims and targets? Last came to scrutiny on 15 th Nov. Executive decision in November Participation and customer data in Leicester Review of health and fitness Leisure Centre Service Plans Sports Service relocation Swim school	TBC
Saffron Hill Cemetery Extension	Design and plans	

Heritage, Culture, Leisure and Sport Scrutiny Commission

Work Programme 2016-17

Social impact of the arts, heritage and culture	Commission to consider the report for the Heritage Lottery Fund 'Kick the Dust' bid Invite Mighty Creatives and The Y for this item	TBC
Sports Participation in the City and Sport Facilities	Item in the context of the anticipated sport strategy.	14 th June
Story of Parks		
Tree strategy		
The role of the arts and culture in delivering mental health and well-being outcomes scrutiny review	Scope agreed on the 20 th September Update on review – 12 th January	12 th January