

Planning & Development Control Committee 3rd August 2022



Planning Applications Index

Planning & Development Control Committee 3rd August 2022

20212995

17A Duxbury Road

20220639

8 Brancaster Close

20213098

**Larch Street and Longcliffe
Road**

20220694

**141 Upperton Road, Elms Park
View**

20220424

31 Clarefield Road



Leicester
City Council

17A Duxbury Road

20212995

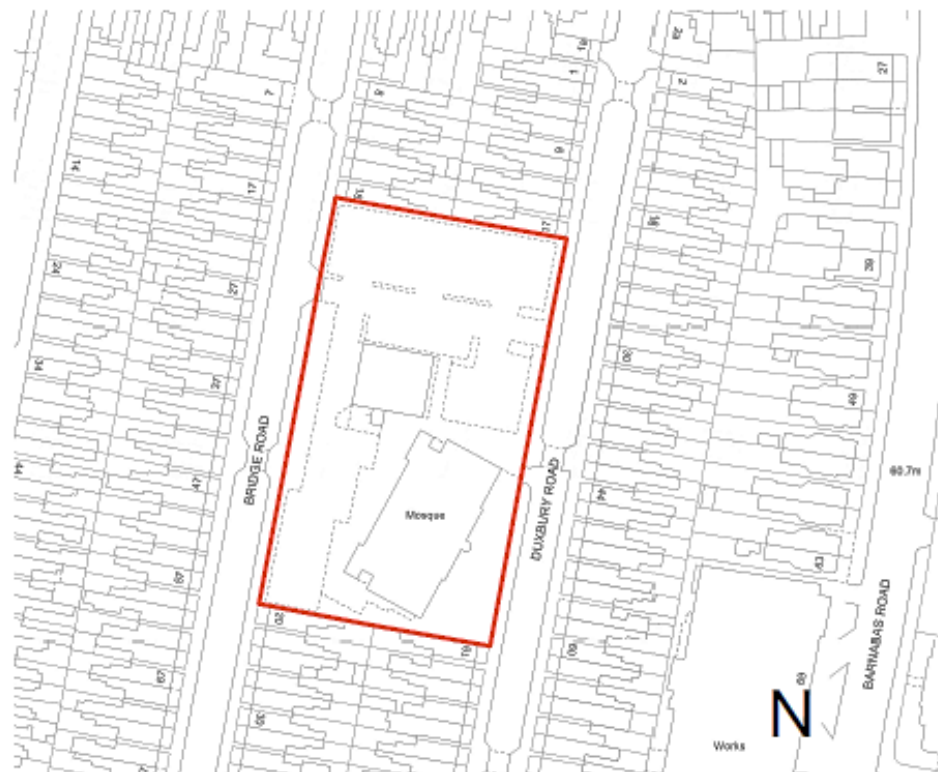
P&DCC 3rd August 2022



• This drawing MUST NOT BE SCALE

• All dimensions to be CHECKED & DISCREPANCY reported to the AR

The site boundary shown is the L data and does NOT represent the
All dimensions in mm unless otherwise stated

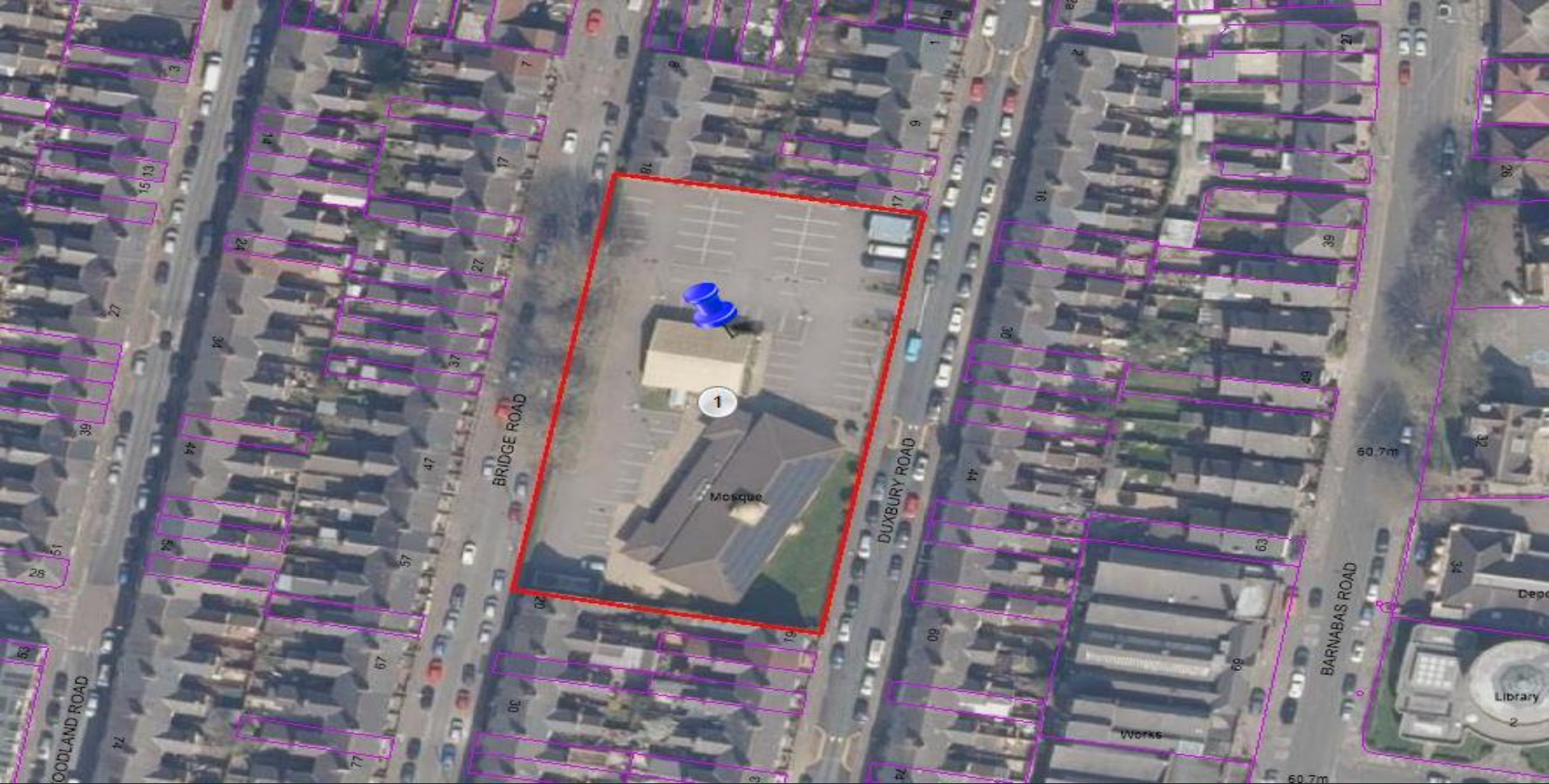


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Location Plan
1:1250



0m 90.7m



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20212995
17A Duxbury Road



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Place of worship and Community Centre buildings- Entrance on Duxbury Road



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Place of worship building adj to house 19 Duxbury Road- East elevation -Duxbury Road



20212995

Community Centre building- Duxbury Road



20212995

Community Centre building- TPO trees - Bridge Road



20212995

Place of worship building- from Bridge Road



20212995

South elevation of Place of worship building- Location of single storey extension



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North elevation of buildings- view from car park / 17 Duxbury Road & 18 Bridge Road



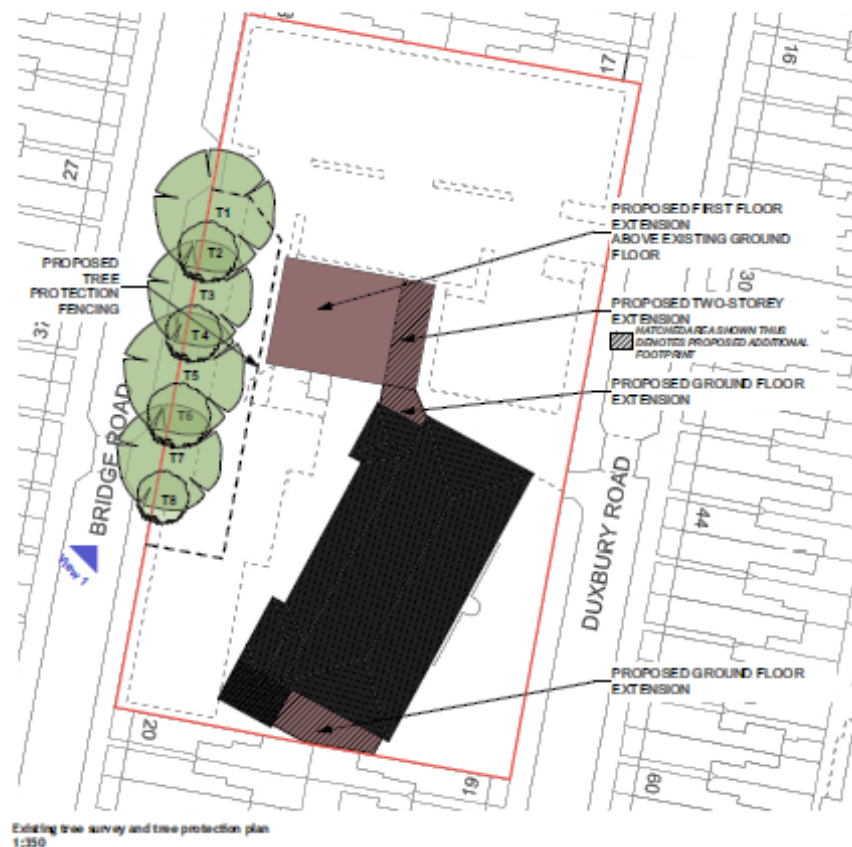
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North and West elevations of community centre – looking towards Duxbury Road



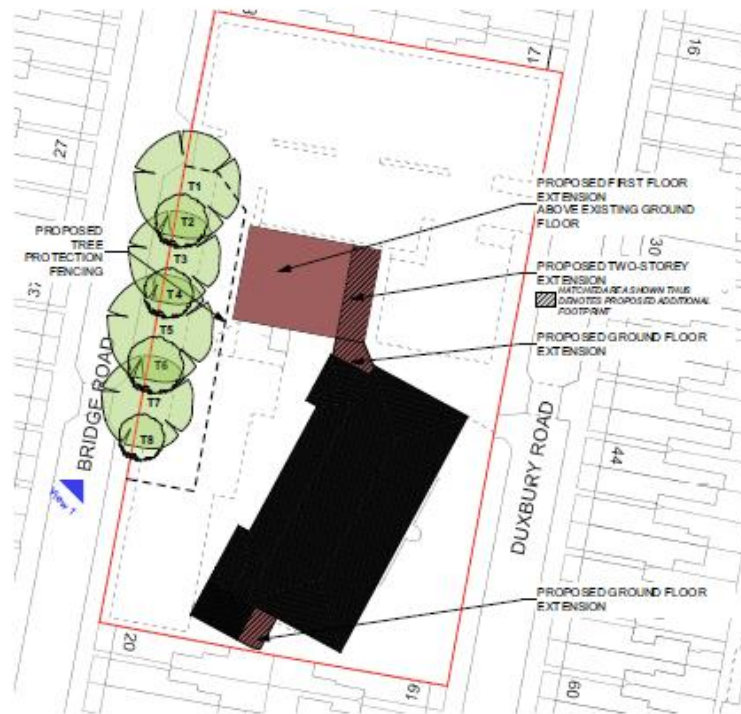
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**East elevation where the link extension will connect both the buildings – viewed
from Duxbury Road**



20212995

**Superseded plan –
single storey side extension to POW**



Existing tree survey and tree protection plan
1:350

Tree No.	Common Name
1	London Plane
2	Yew
3	London Plane
4	Yew
5	London Plane
6	Yew
7	London Plane
8	Yew

The trees indicated on site plan are covered by a Tree Preservation Order.

The trees are all permanently enclosed within security fencing and vertical steel railings along the Bridge Road frontage. The areas under the trees canopies are existing tarmac paving with a narrow strip of consolidated soil approximately 1500mm wide fronting the security fencing.

The proposed extension to Community Centre building will not be extended towards the existing trees. Therefore, the proposal will not have an implication on the tree's root zone. The combination of the existing protective fencing and permanent fencing all of which will be retained will protect the tree trunks and their root zones.



View 1



Plant protection area - Protective fencing

All protective fencing to comply with BS 5837:2012

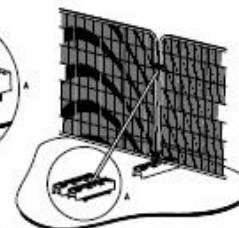
Tree Protection Fencing

A temporary Tree Protection Fencing is proposed to protect existing canopies of the trees throughout the construction period. The proposed Tree Protection Fencing will perform the function of preventing site traffic using the areas under the tree canopies and also to prevent materials storage within this area.

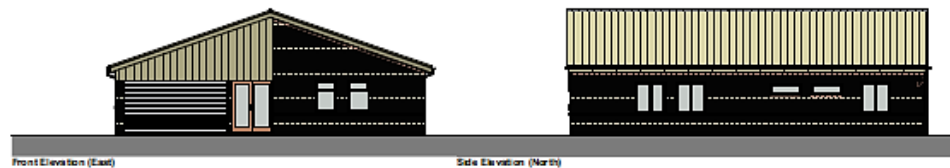
The fence is to consist of 2m tall welded mesh panels on rubber or concrete feet shall be installed as per site plan to provide an adequate level of protection from cars, vans, pedestrians and manually operated plant. In such cases the fence panels should be joined using a minimum of two anti-tamper coupler installed so that they can only be removed from inside the fence. The distance between the fence couplers should be at least 1m and should be uniform throughout the fence. The panels should be supported on the inner side by stabiliser struts mounted on a block tray.

BRITISH STANDARD

BS 5837:2012

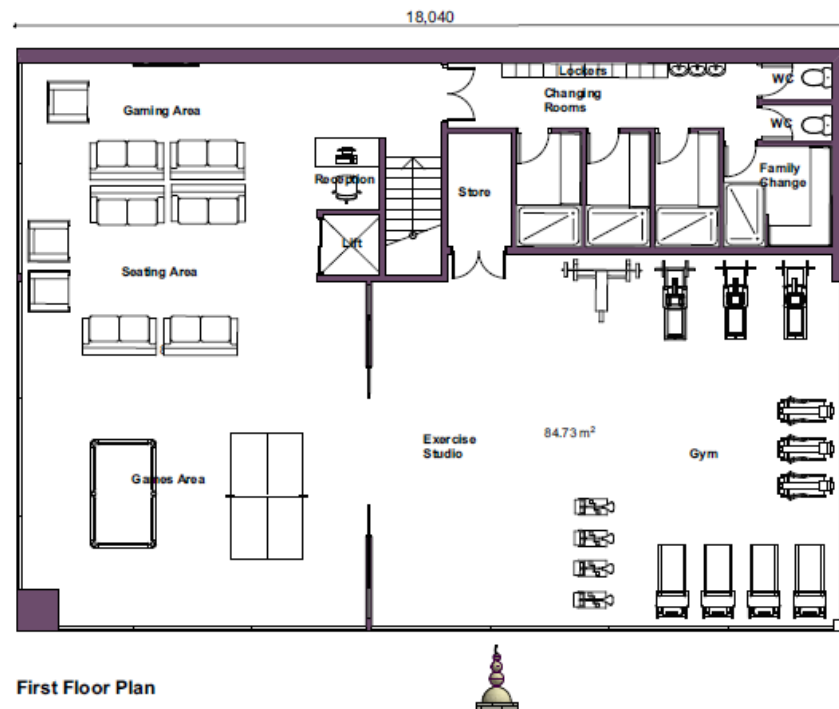


b) Stabiliser strut mounted on block tray



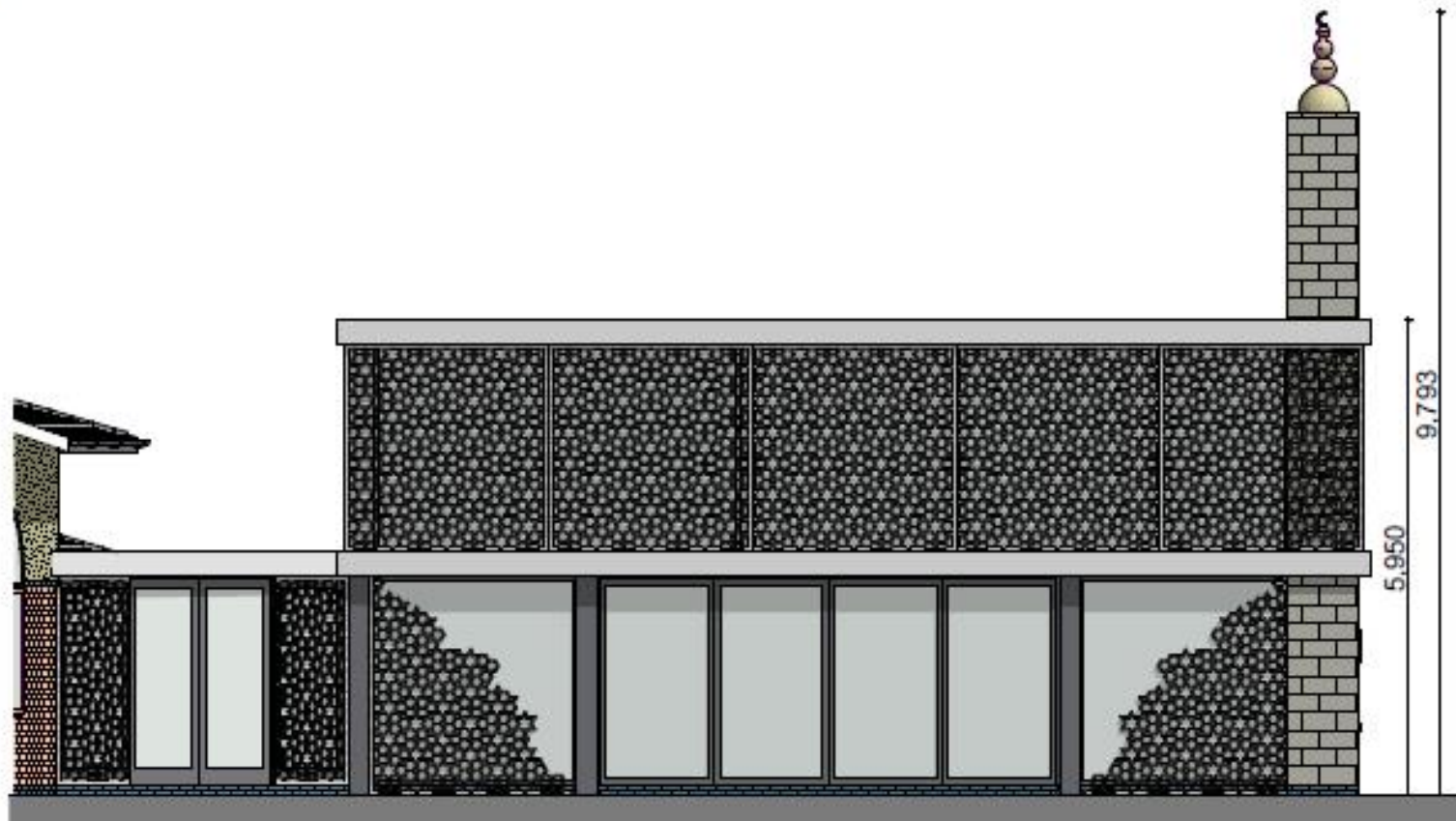
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Floor plans and elevations of community centre



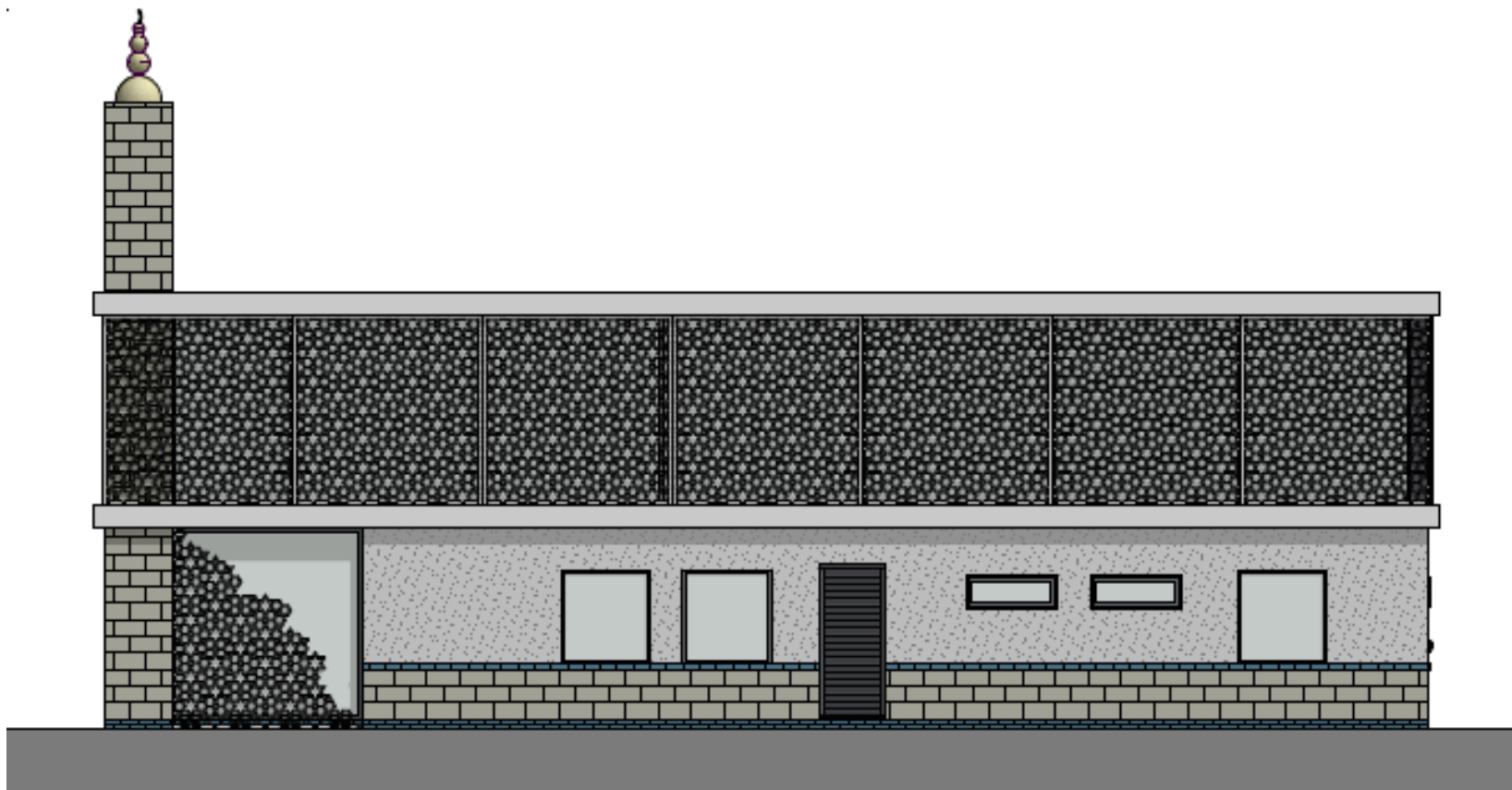
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Proposed Ground floor and first floor plans of community centre



20212995

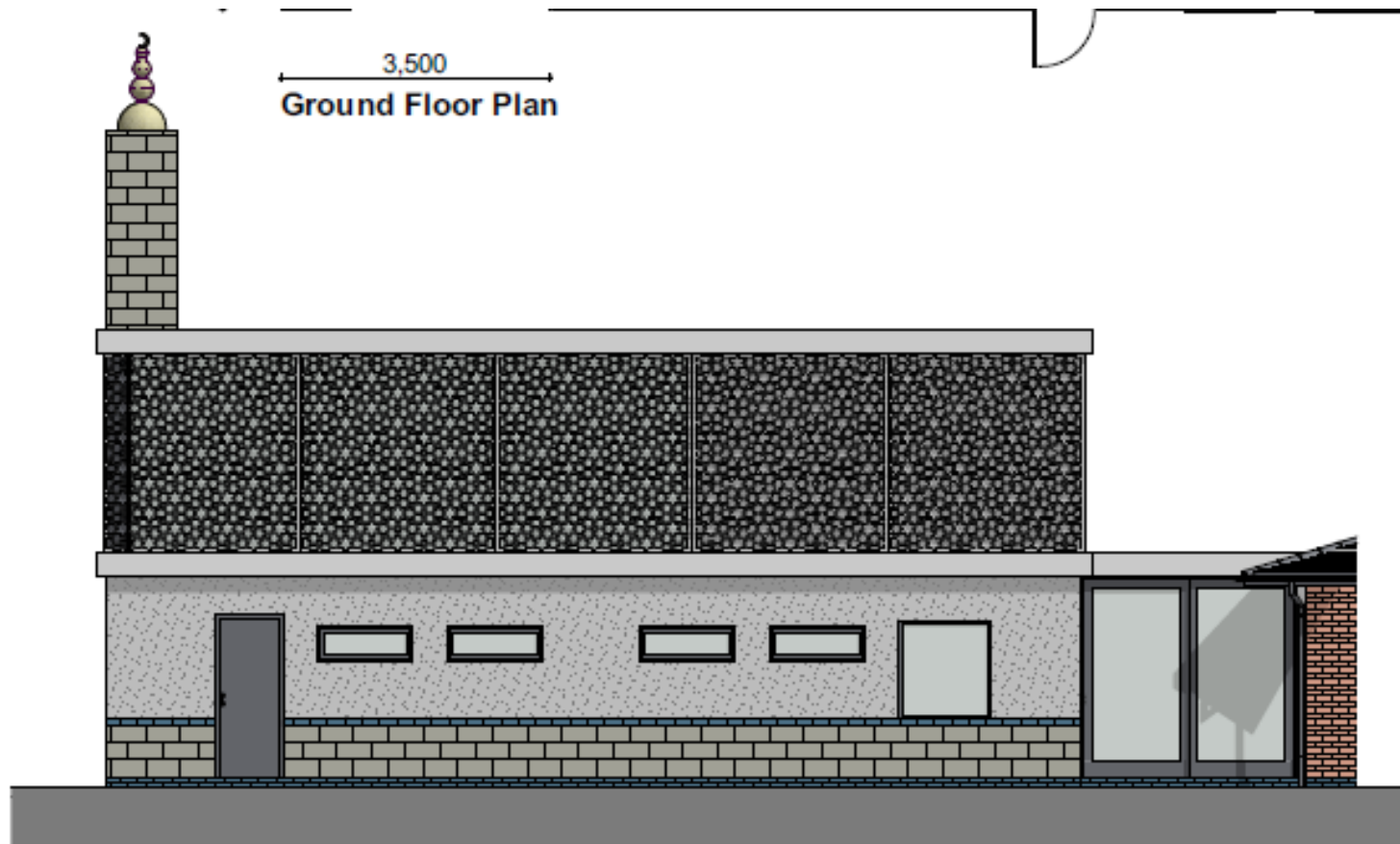
Front (east) elevation of Community Centre viewed from Duxbury Road



Side Elevation (North)

20212995

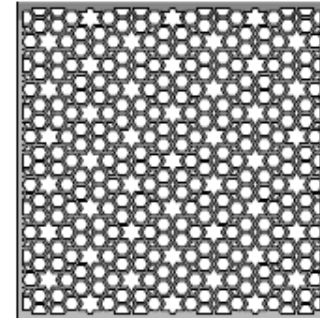
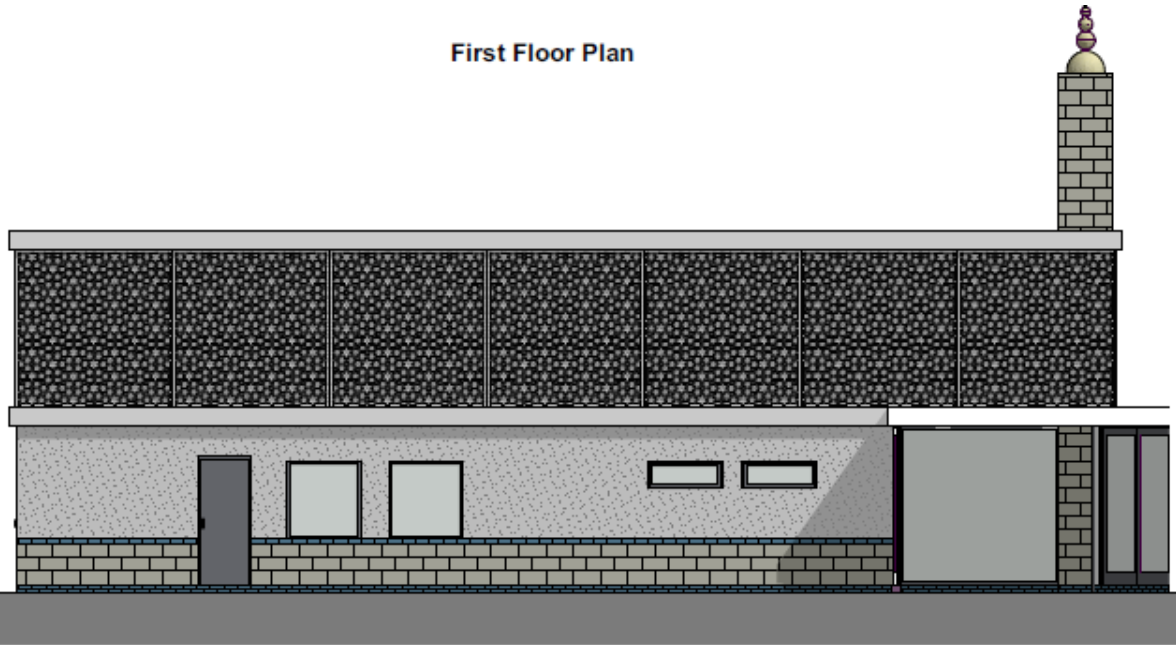
Side (north) elevation looking towards 17 Duxbury Road and 18 Bridge Road



20212995

Rear (west) elevation – view from Bridge Road

First Floor Plan



Mashribiya Panel Detail
1:50

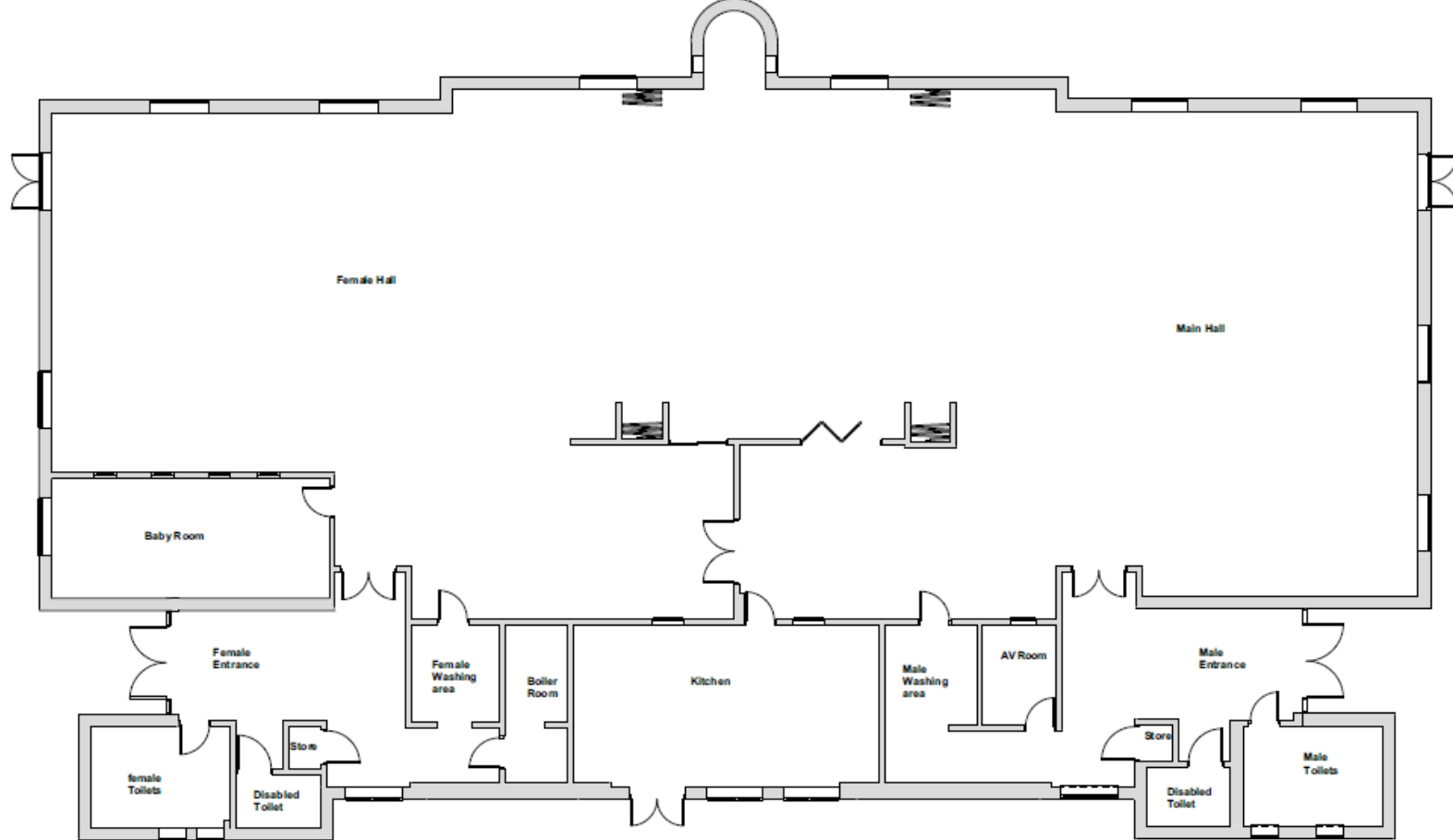
Mashribiya Panel to be
5mm laser cut aluminium

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Side (south) elevation - Looking towards POW and 20 Bridge Road and 19 Duxbury Road

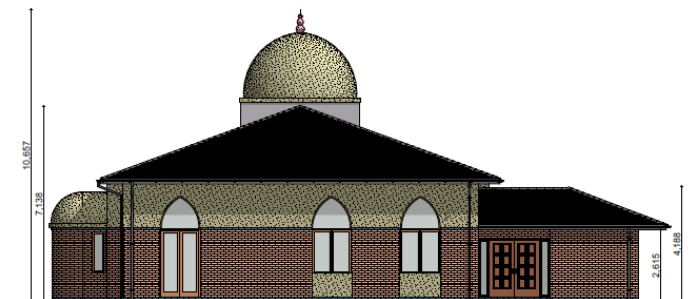


Indicative Visual (NTS)

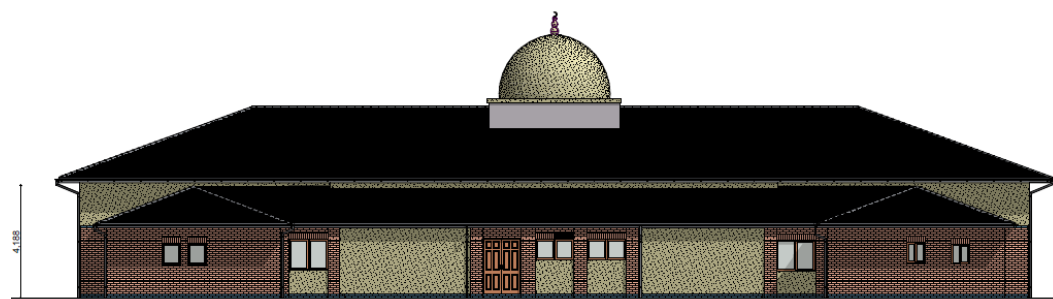


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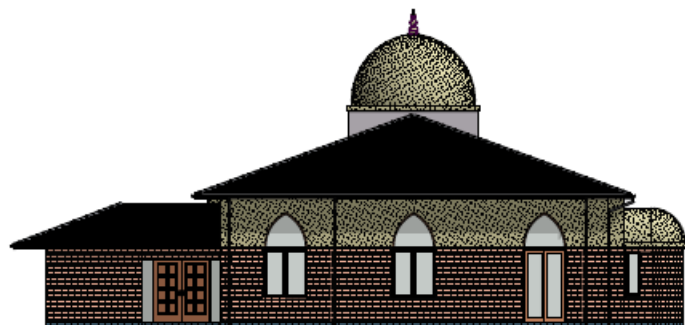
Existing floor plan of Place of Worship



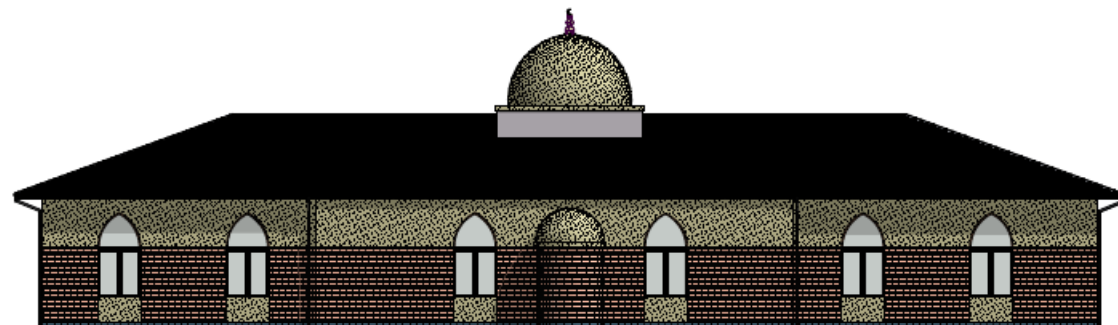
Front Elevation (North)



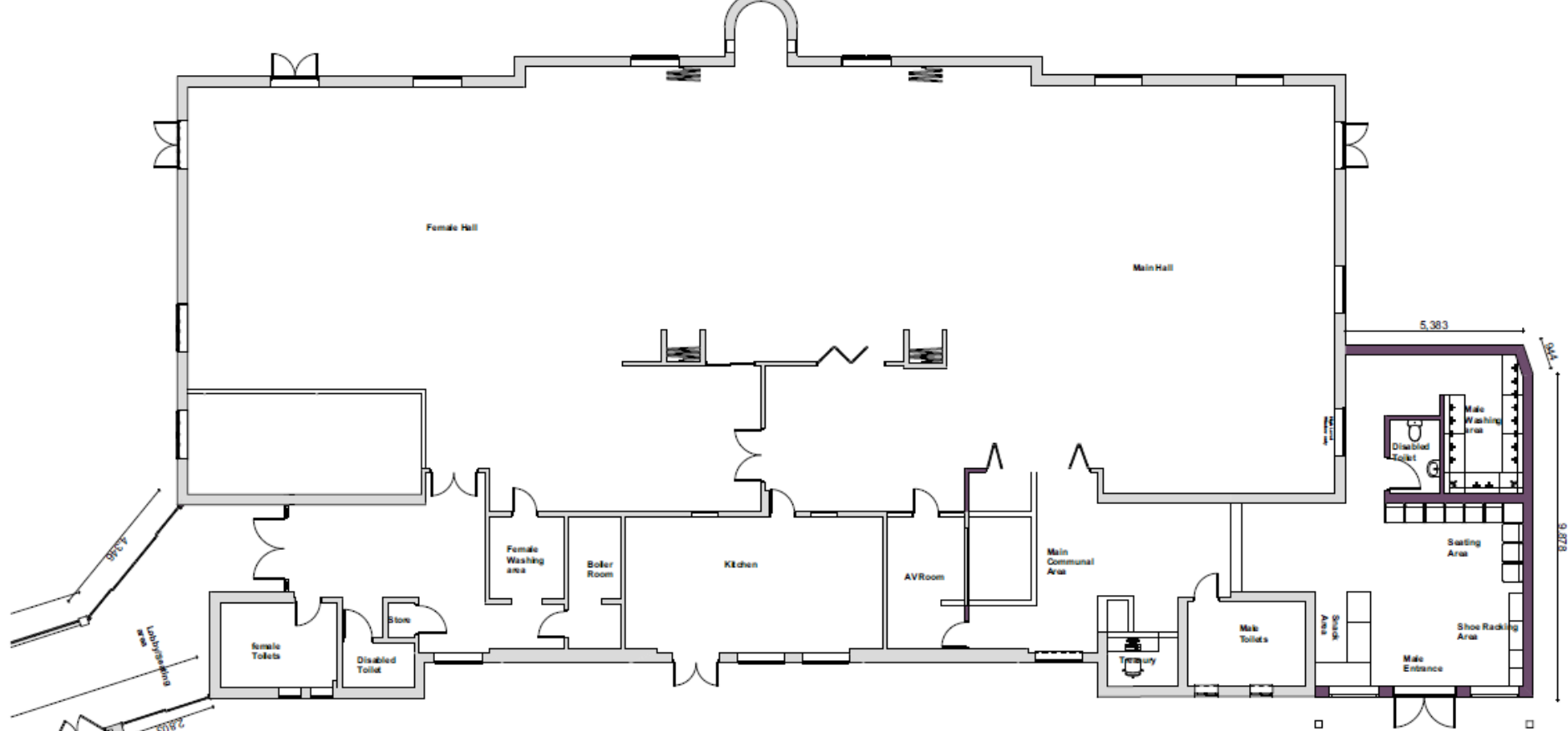
Side Elevation (West)



Rear Elevation (South)

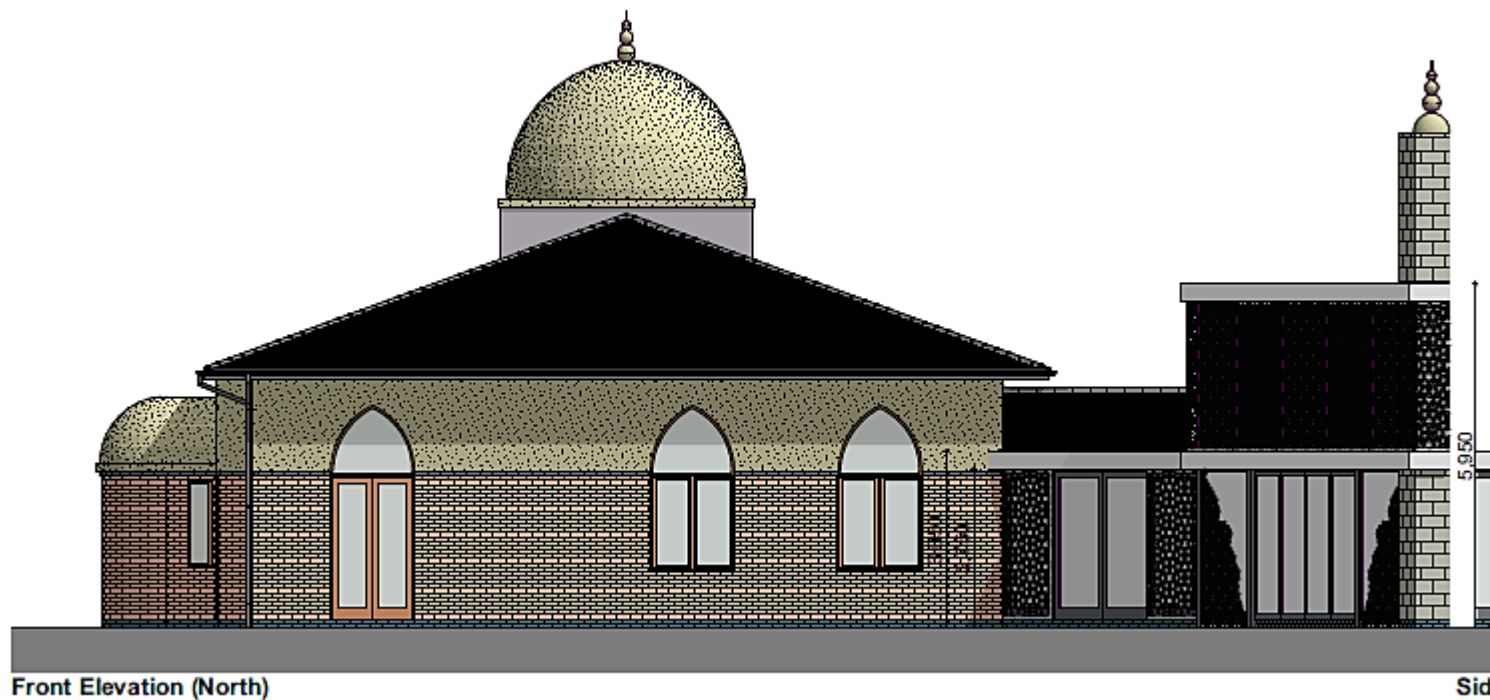


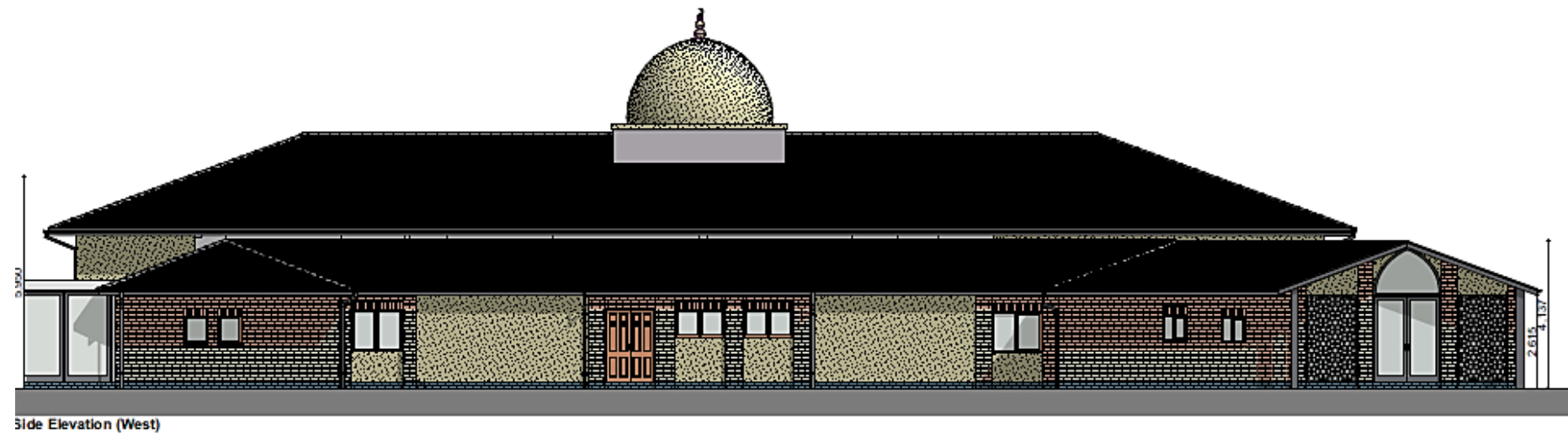
Side Elevation (East)



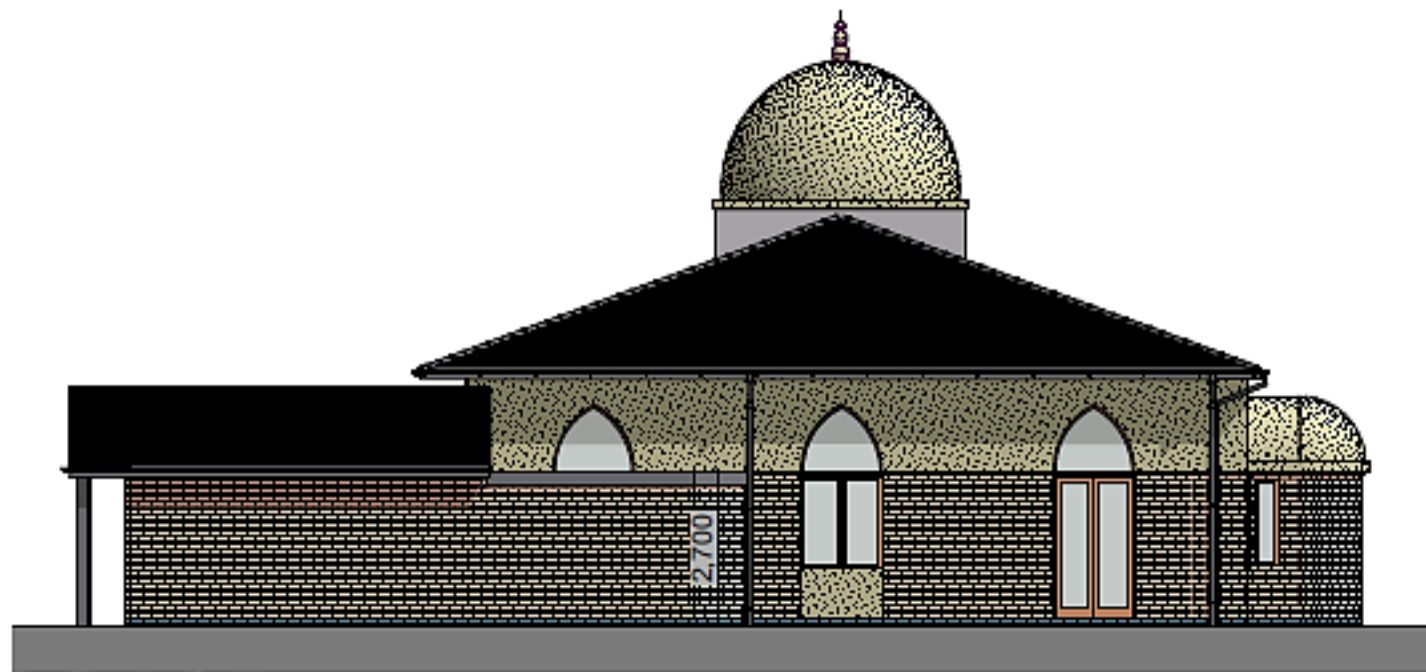
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Proposed place of worship ground floor plans- Single storey extension adj to house at 20 Bridge Rd & 19 Duxbury Rd





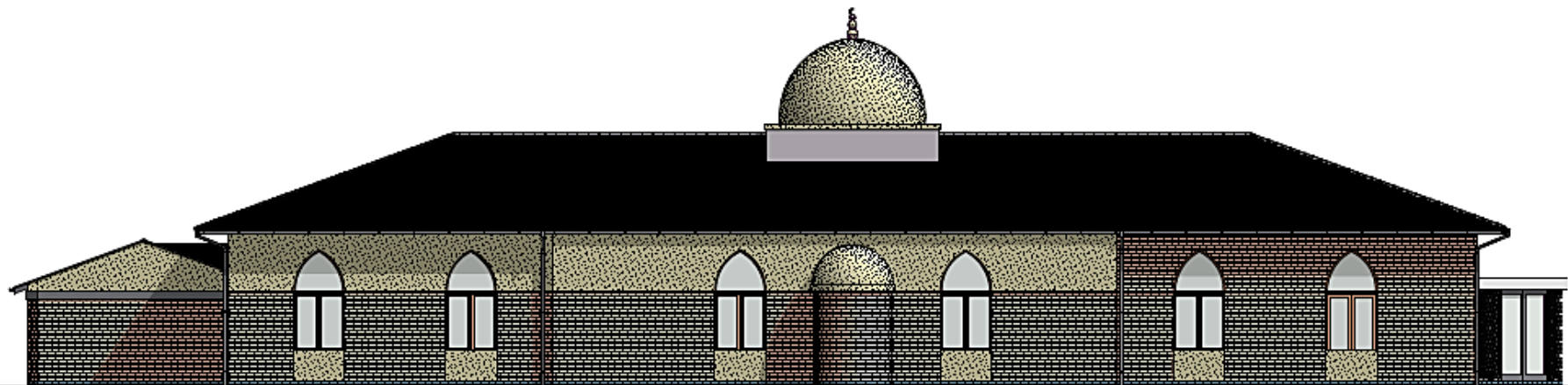
20212995
West elevation showing single storey extension to Place of worship



Rear Elevation (South)

20212995

South elevation showing single storey extension to Place of worship



Side Elevation (East)



Larch Street and Longcliffe Road

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P&DCC 3rd August 2022





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Larch Street and Longcliffe Road



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20213098
Larch Street and Longcliffe Road



Views of 43-69 Larch Street looking North

20213098
Larch Street and Longcliffe Road



**Views of 76, 78, 89, 102 and 104 adjacent to Willow
Brook**

**20213098
Larch Street and Longcliffe Road**



Views of 35 – 45 Longcliffe Road from the South

20213098
Larch Street and Longcliffe Road



**Views of bin store outside 56 and 82 Larch Street
looking west**

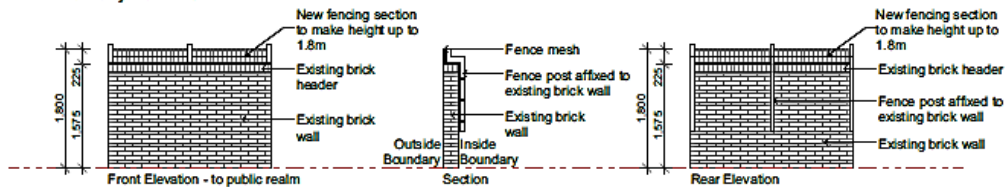
**20213098
Larch Street and Longcliffe Road**



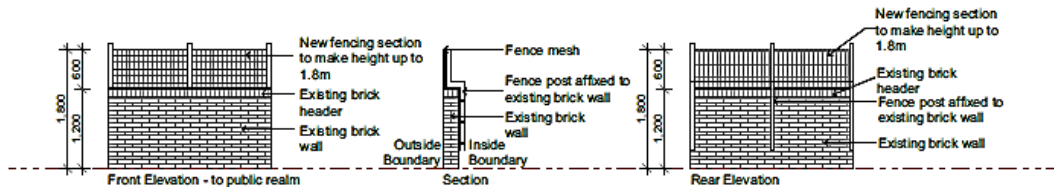
**View from larch street looking north showing development
implemented from Application 20181900**

**20213098
Larch Street and Longcliffe Road**

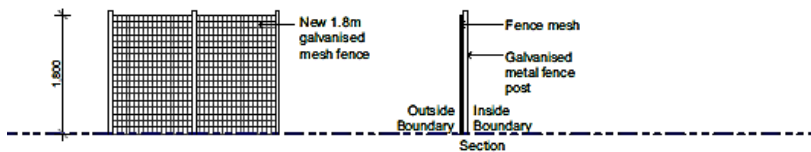
Boundary Treatment



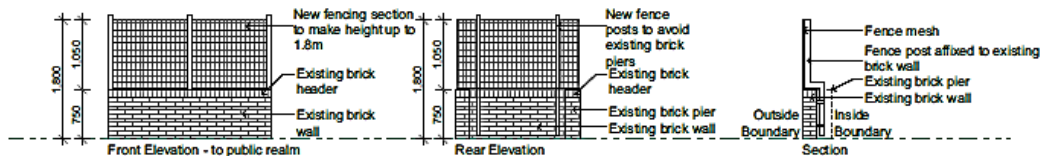
F1 1800mm Brick and Galvanised mesh fence



F2 1800mm Brick and Galvanised mesh fence



F3 1800mm Galvanised Mesh Fencing

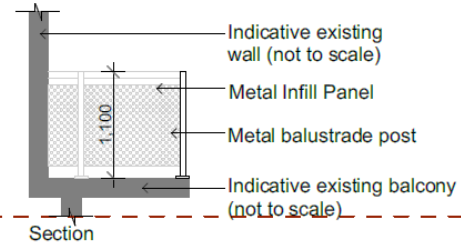
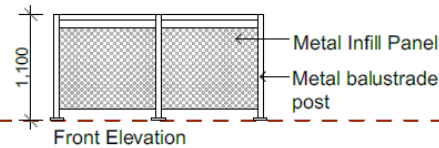
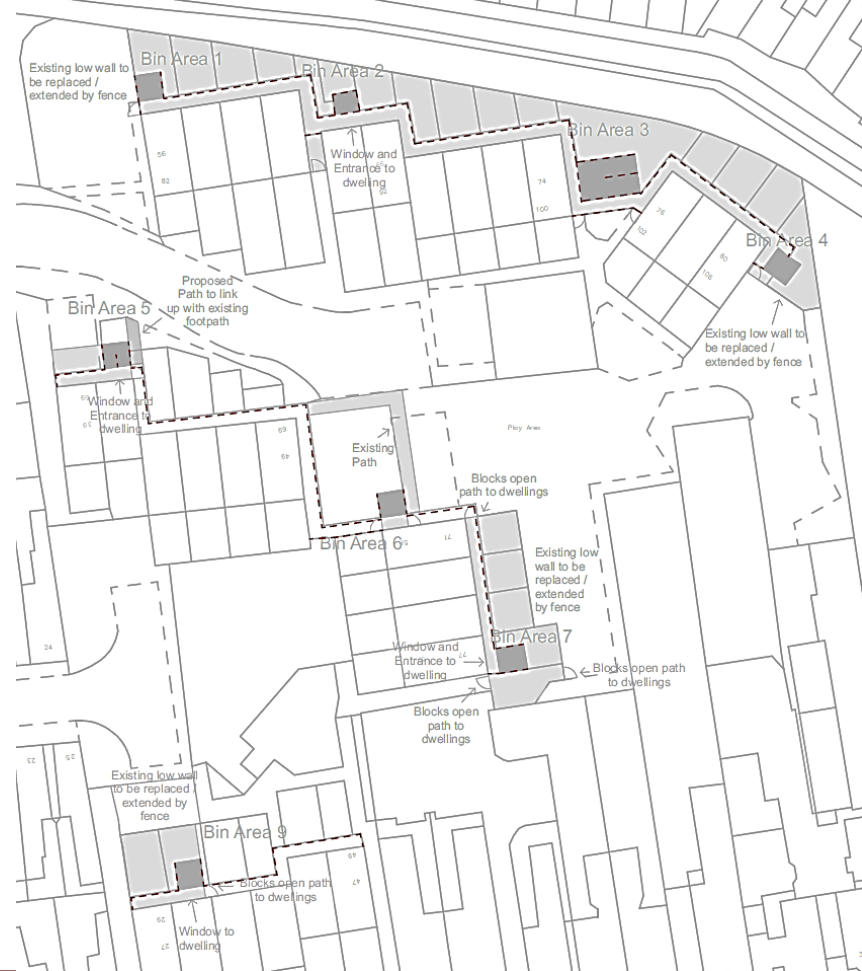


F4 1800mm Brick wall with piers and galvanised mesh fence



Key:

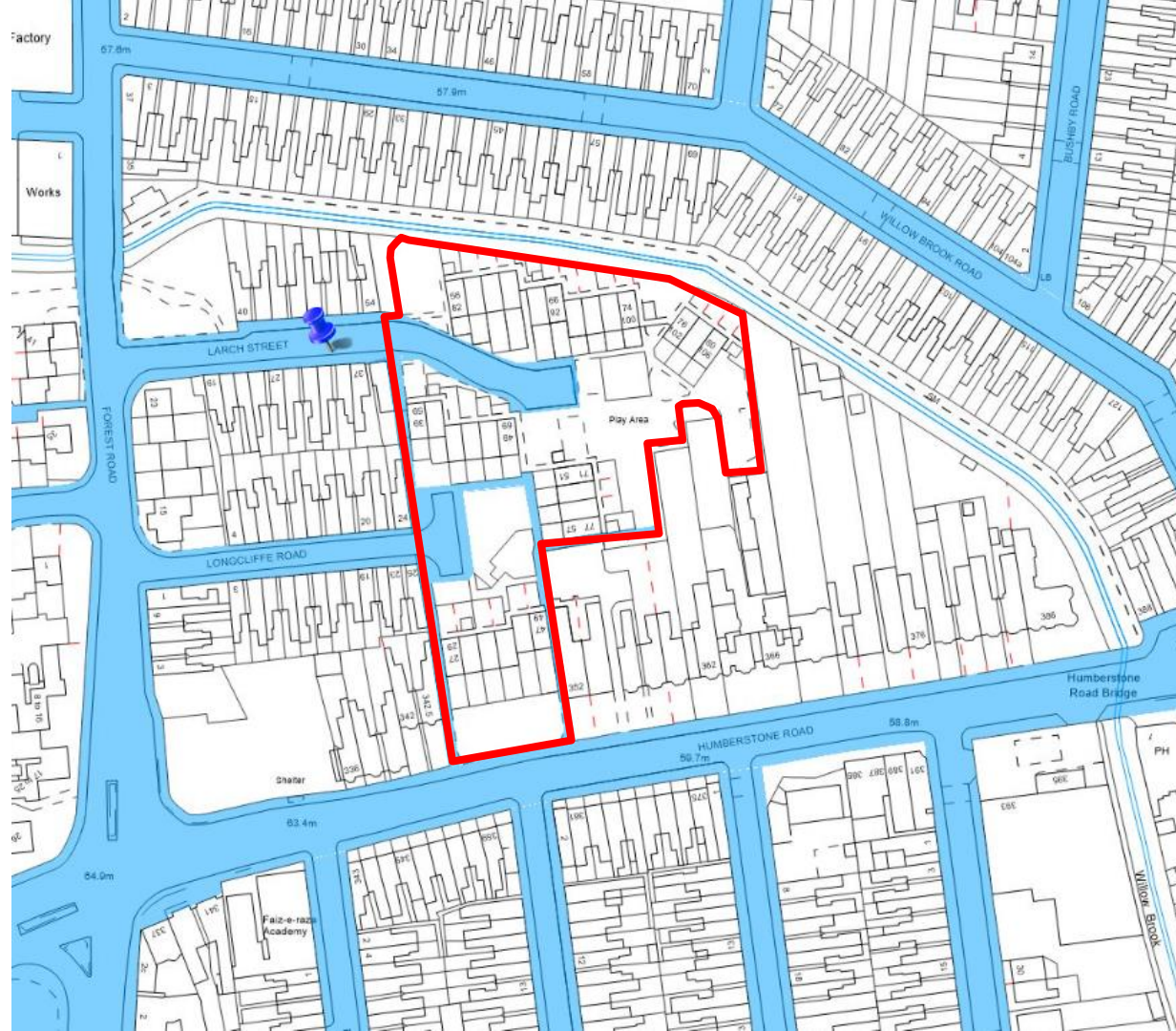
- Area securely enclosed with gate access.
- Stair / Bin Area
- Proposed location of fence
- Proposed gated access



B1 1100mm Metal Infill Panel balustrade

Location of new balcony

20213098
Larch Street and Longcliffe Road



31 Clarefield Road

20220424

P&DCC 3rd August 2022





20220424

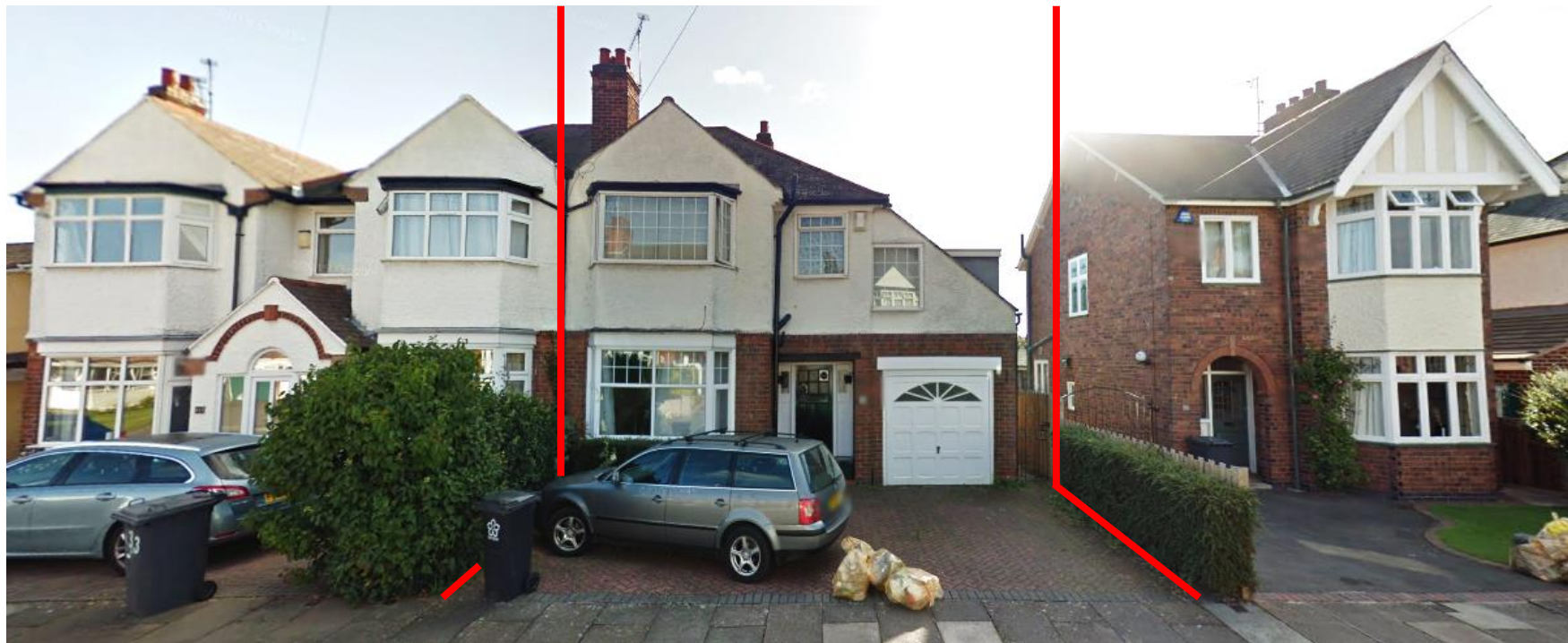
31 Clarefield Road



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31 Clarefield Road



Front elevation

20220424
31 Clarefield Road



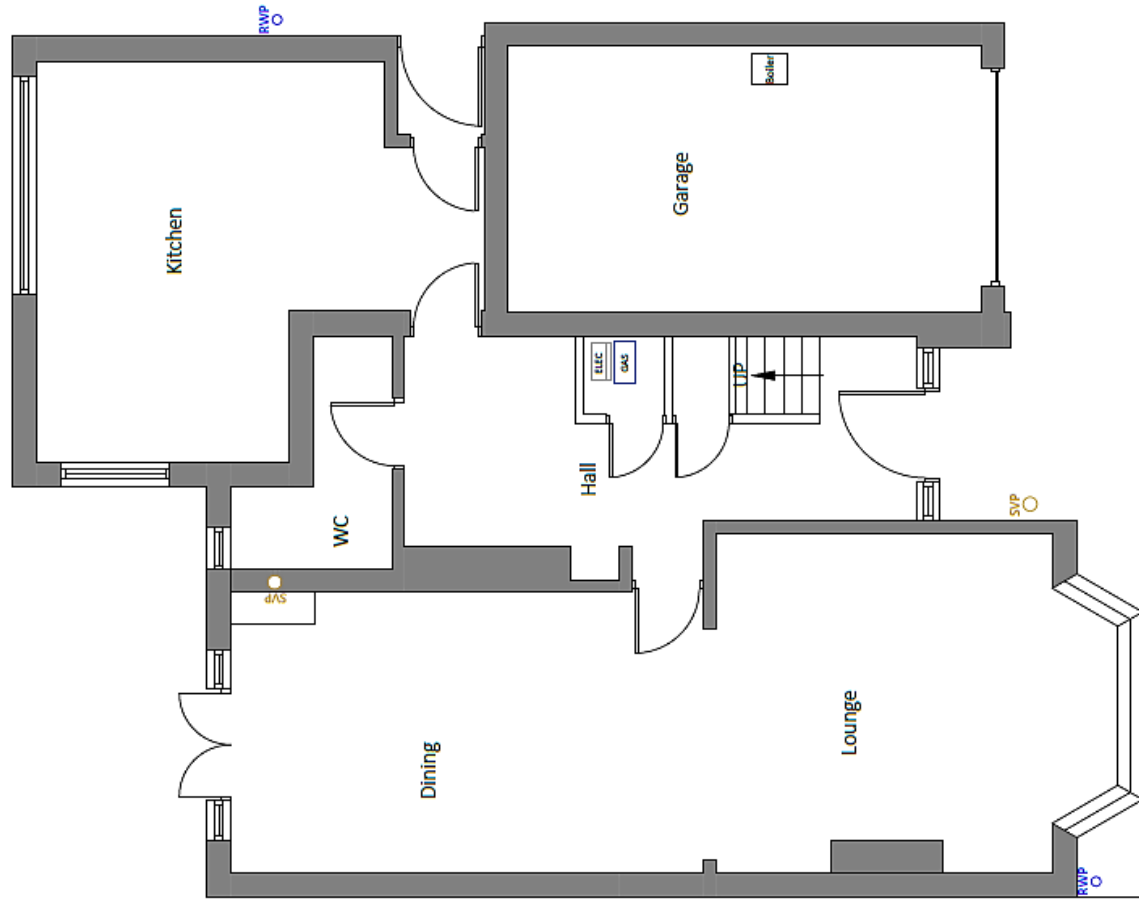
29 Clarefield Road side window locations

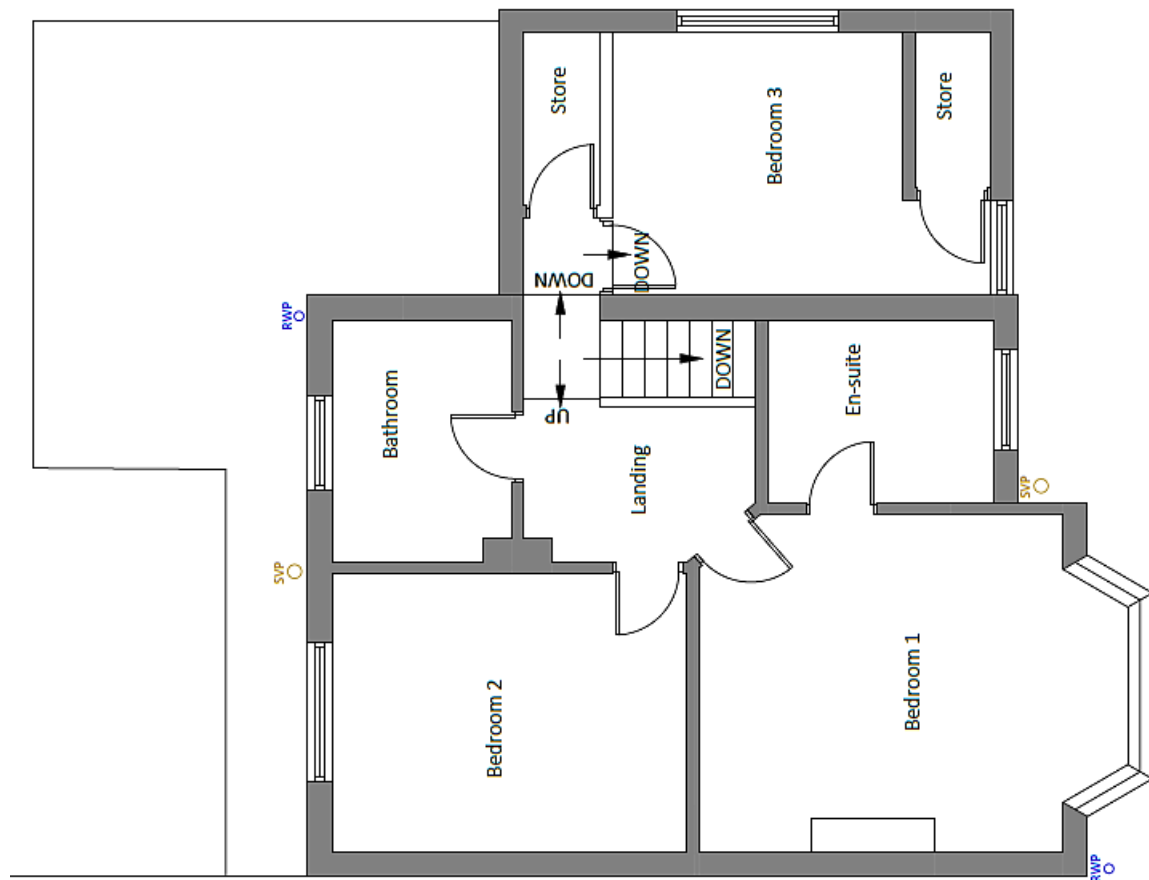
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31 Clarefield Road

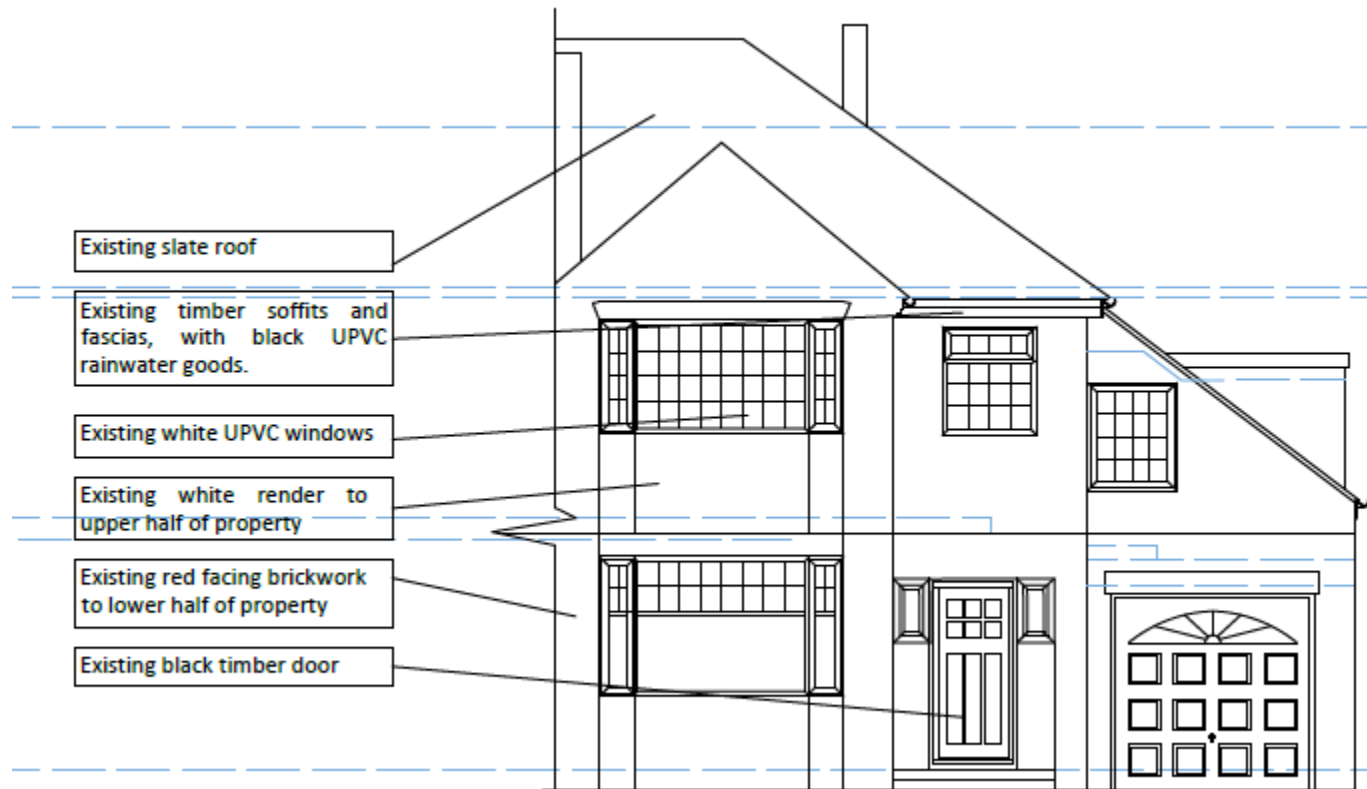


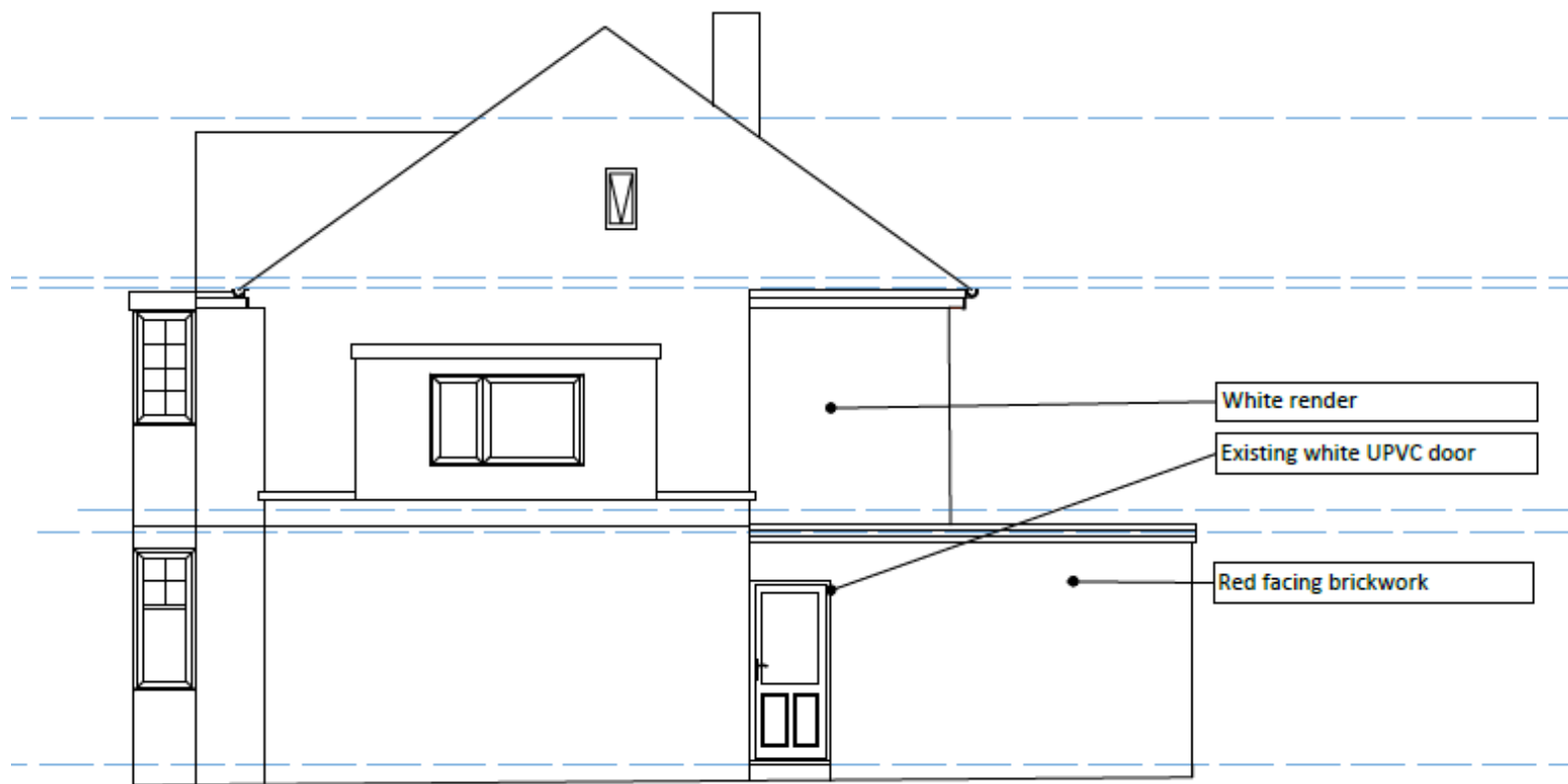
Rear elevation of application site

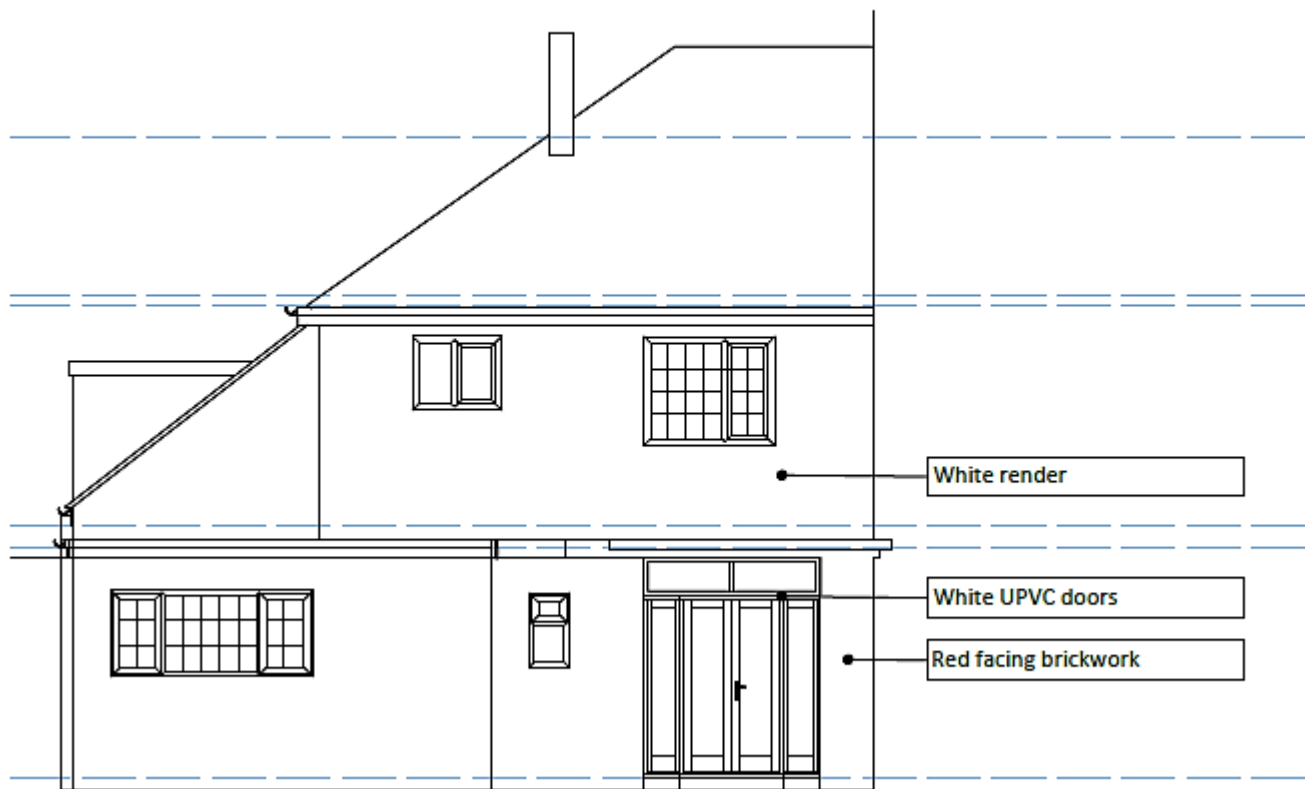
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31 Clarefield Road

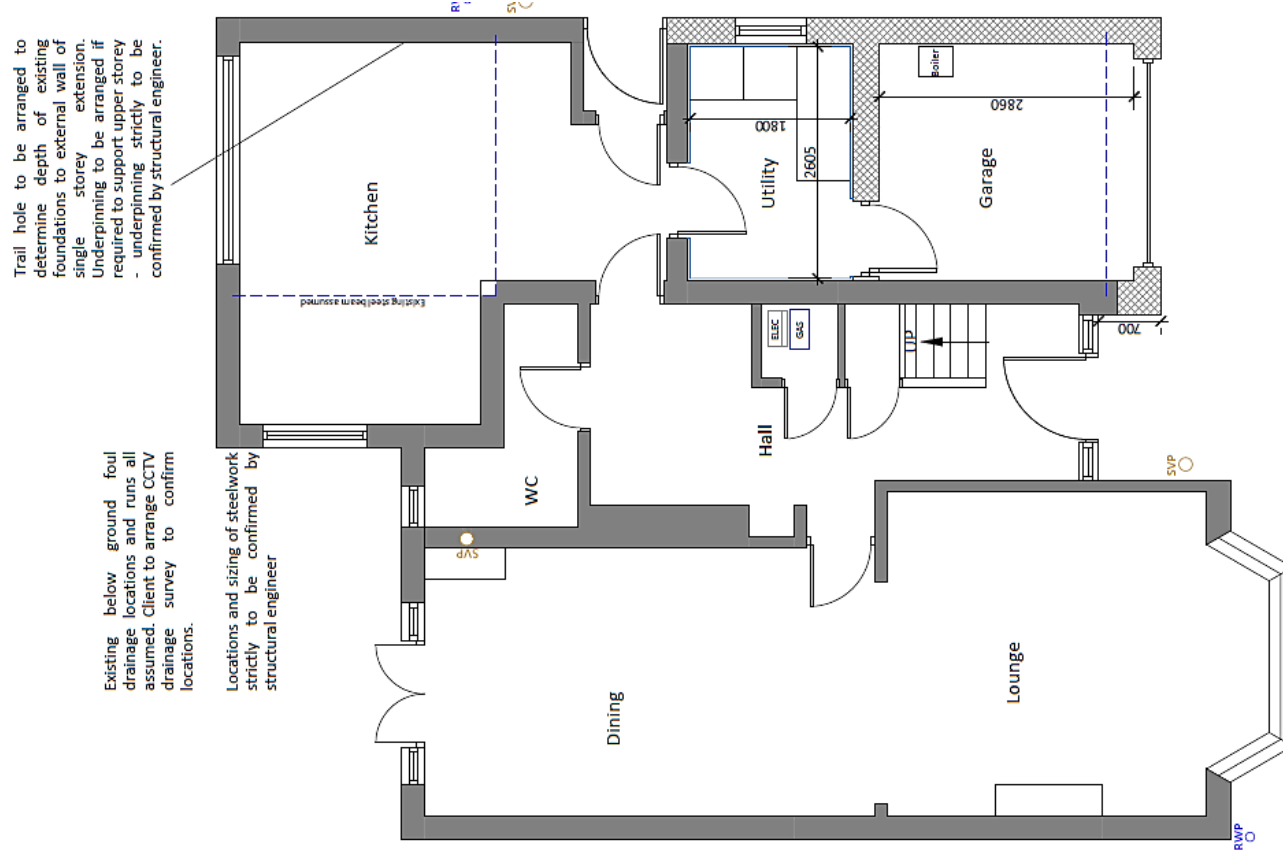


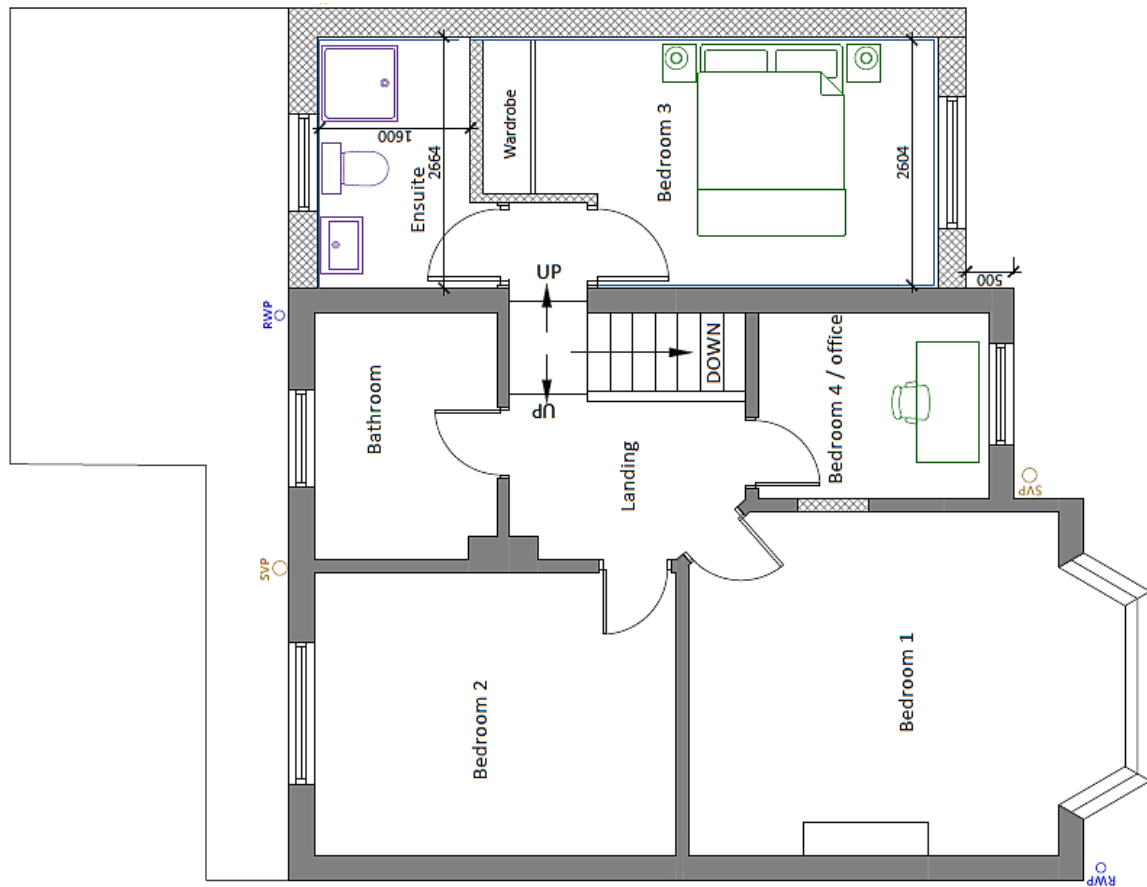


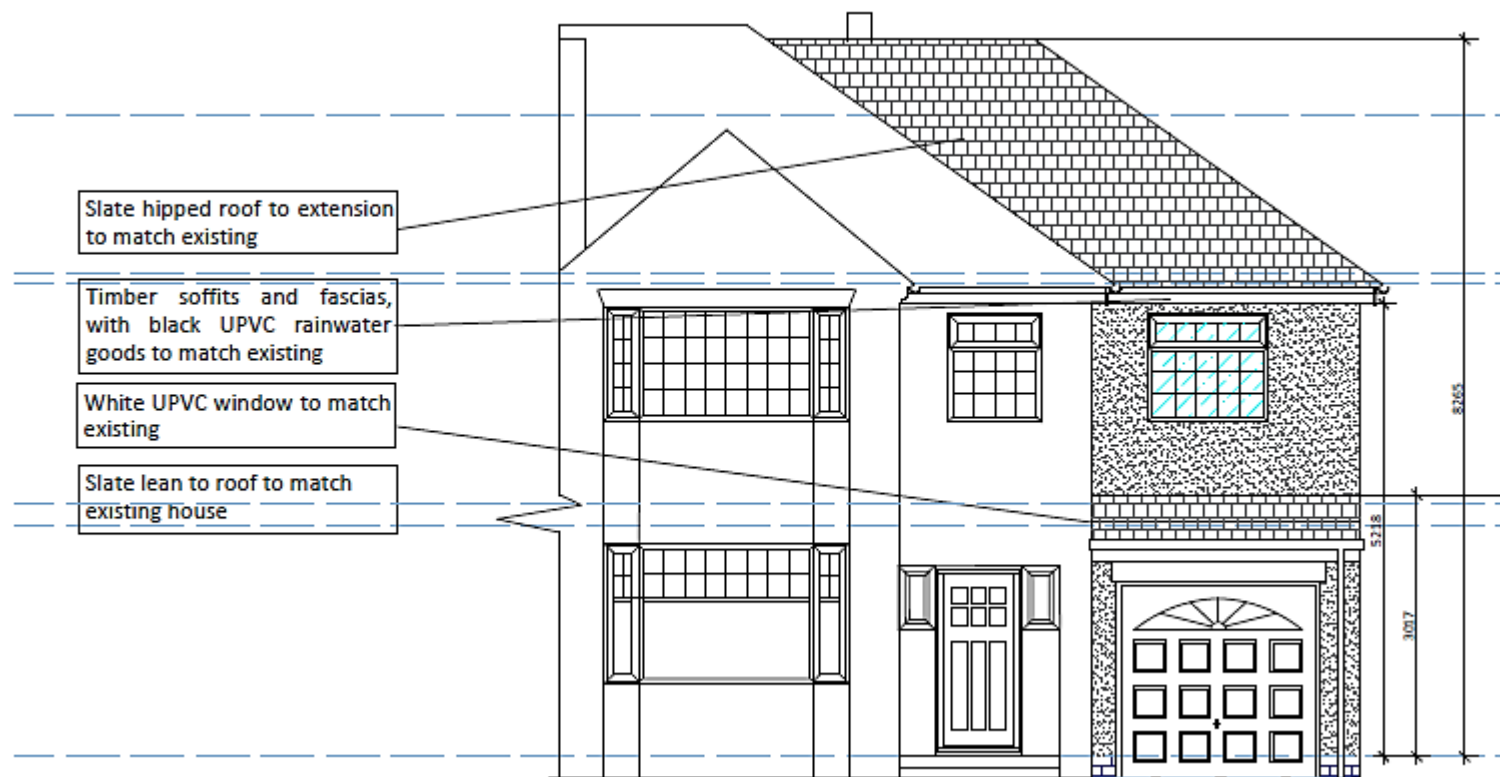


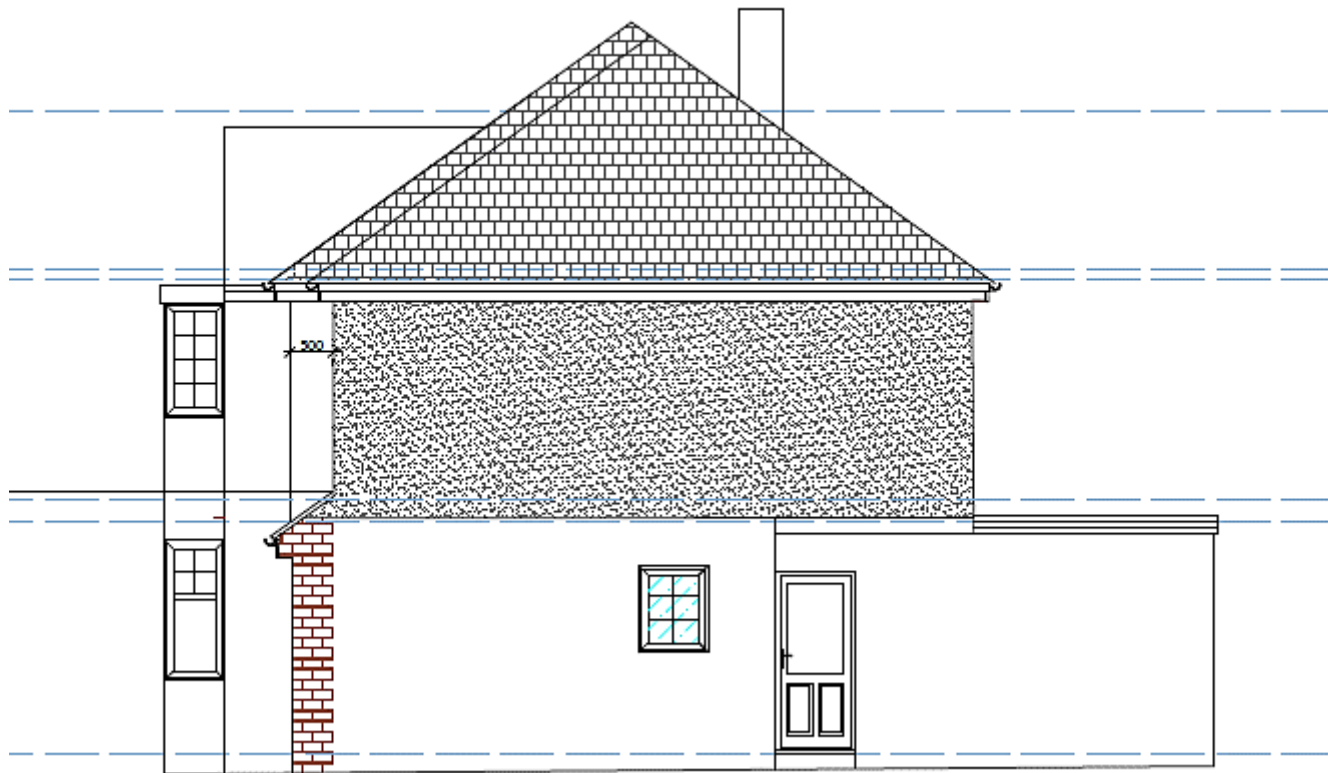


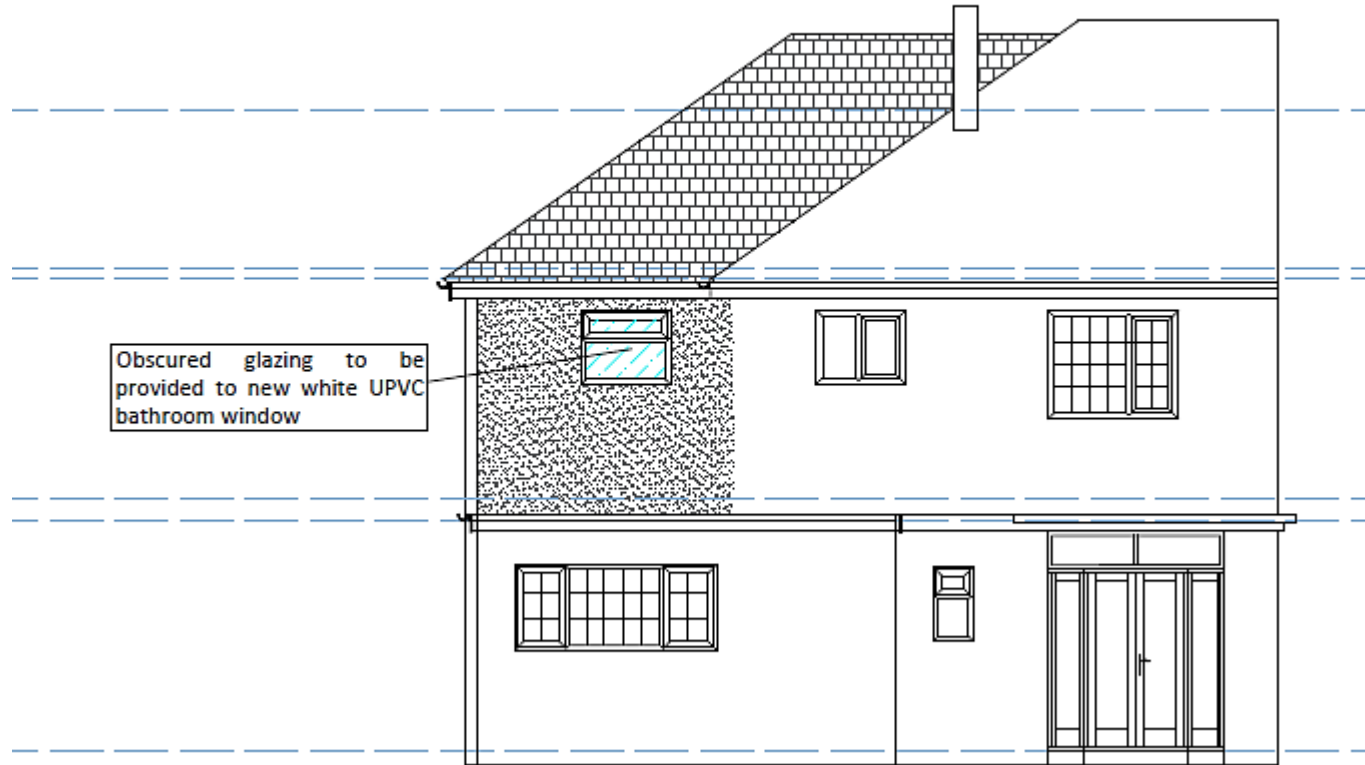












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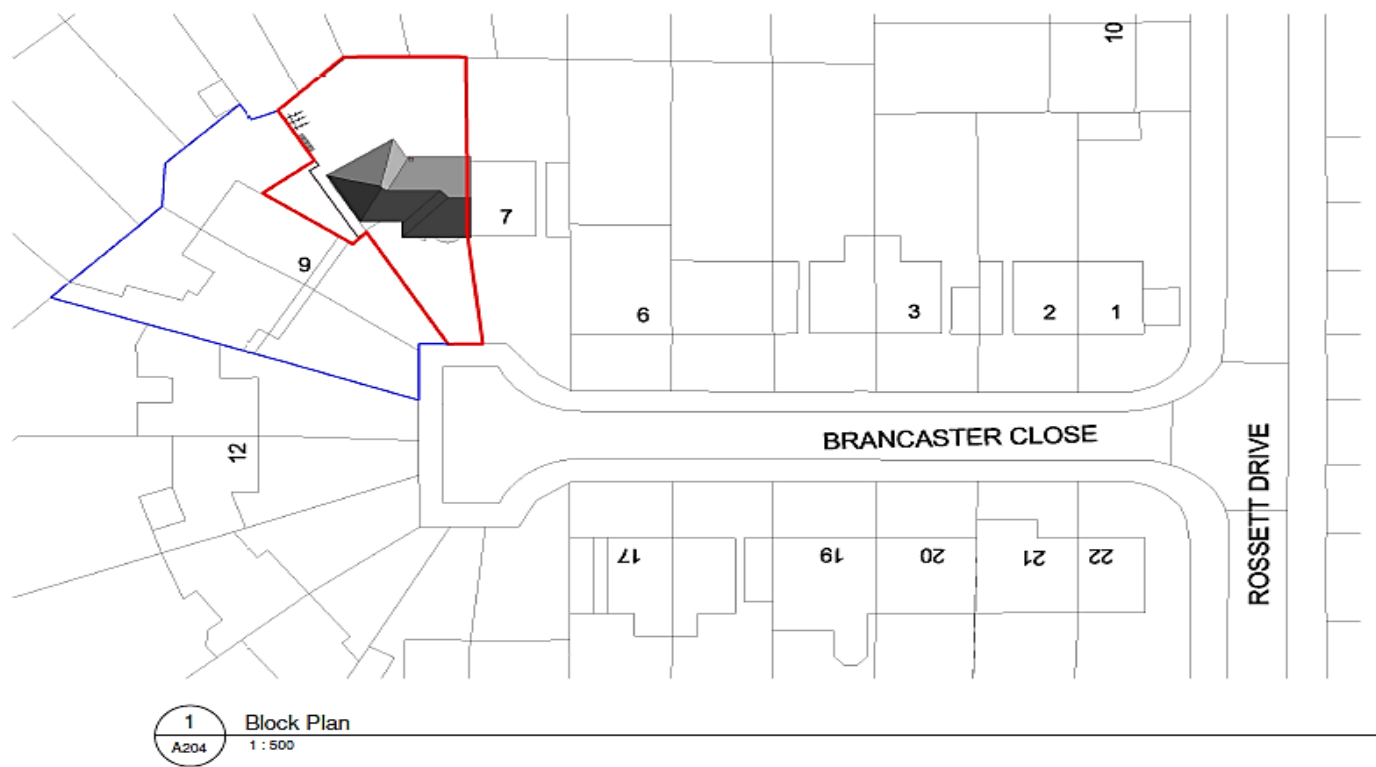
141 Upperton Road, Elms Park View

8 Brancaster Close

20220639

P2 HCC 3rd August 2022





Site location plan

20220639
8 Brancaster Close



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Front view

20220639
8 Brancaster Close



Rear view

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8 Brancaster Close



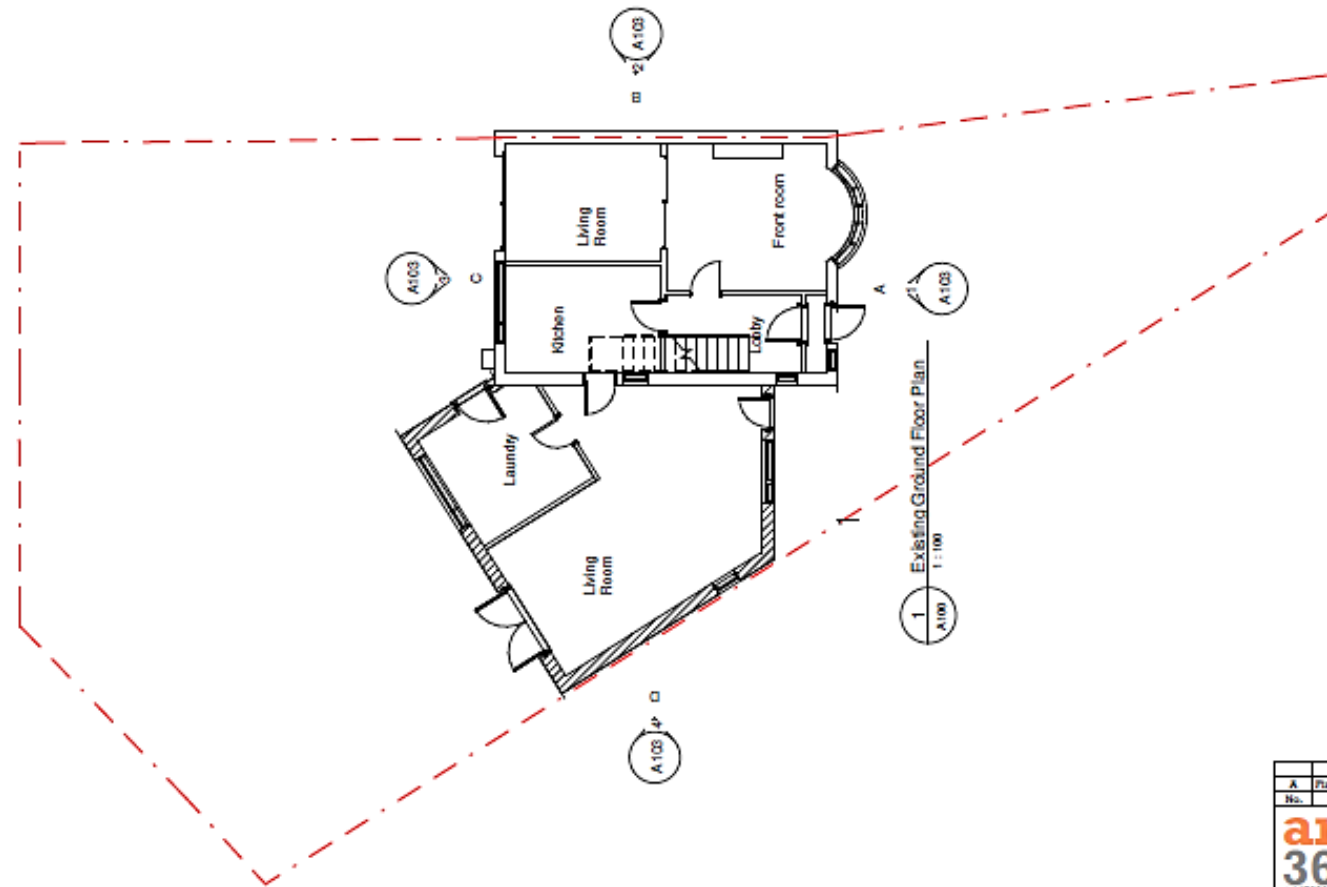
Side view towards no. 9

20220639
8 Brancaster Close



View of the Cul de sac from Rossett Drive

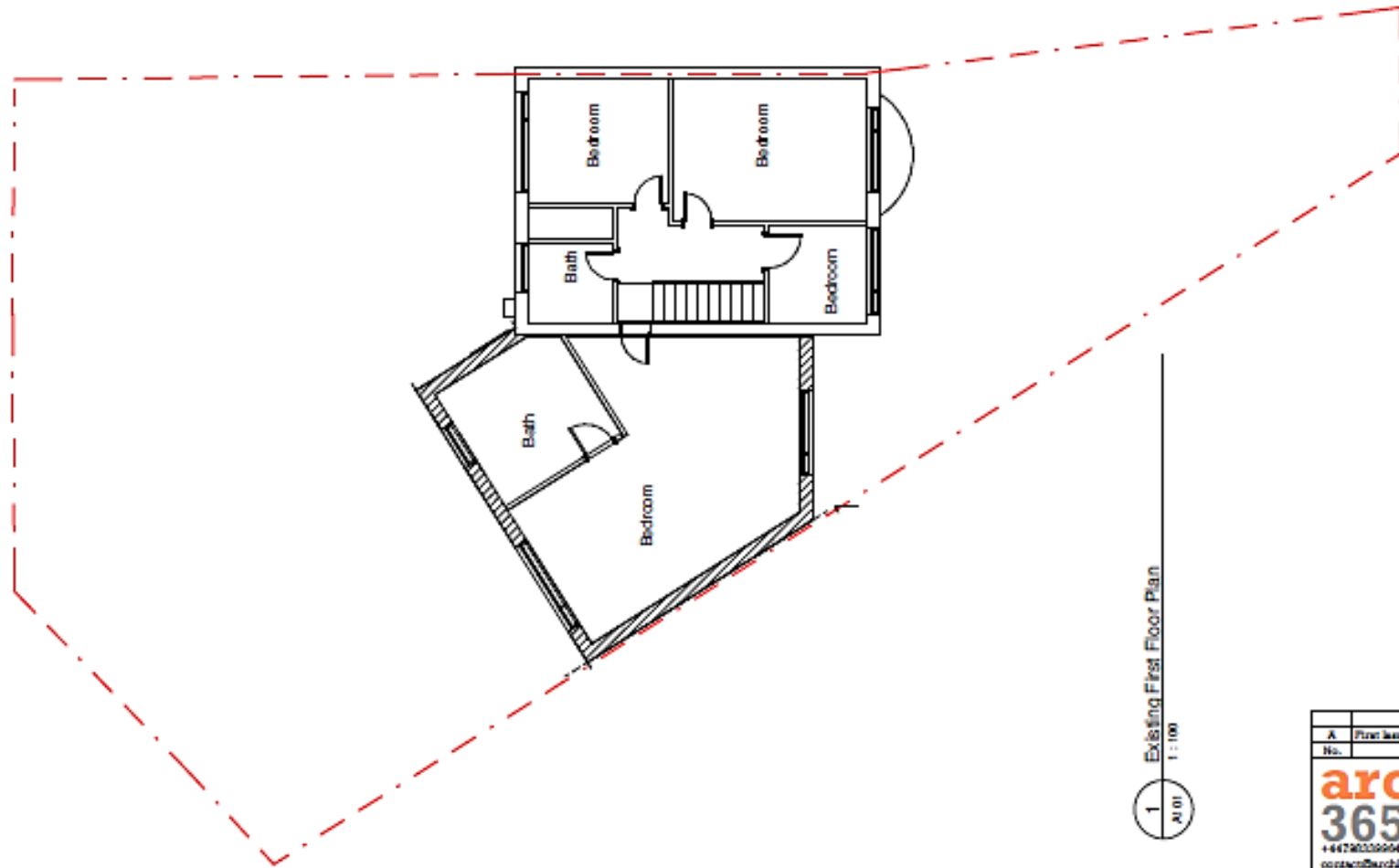
20220639
8 Brancaster Close



A	First Issue	27.10.2021
No.	Description	Date
arc hitecture 365 +447903399946 contact@architecture365.co.uk www.architecture365.co.uk 20 Eyre South Road Telowater L27 9 1928		

Existing ground Floor plan

20220639
8 Brancaster Close

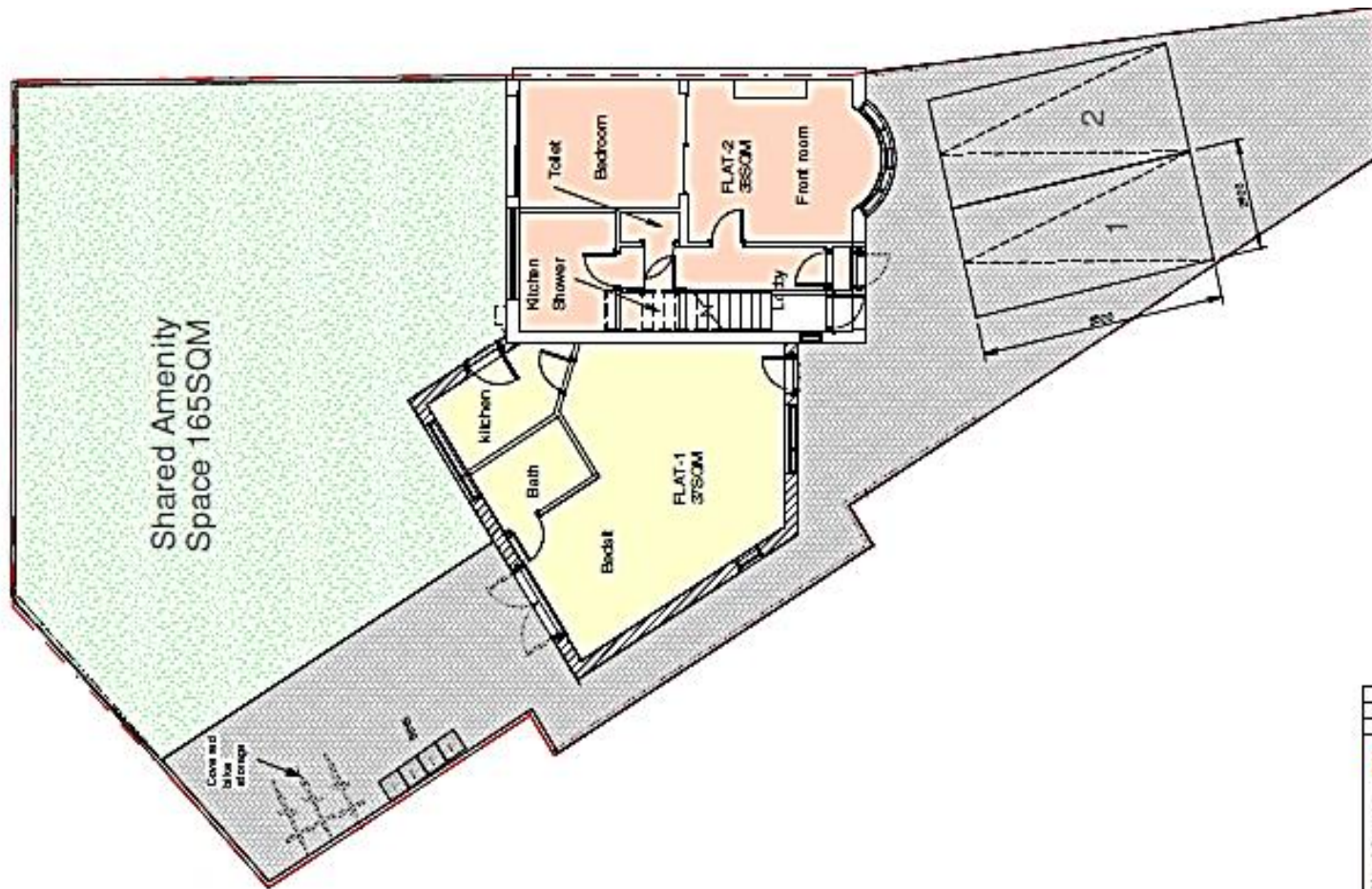


1 Existing First Floor Plan
A101
1:100

A First Issue	
No.	
arc 365 +447303399548 contact@arc365.co.uk www.arc365.co.uk	

Existing first Floor plan

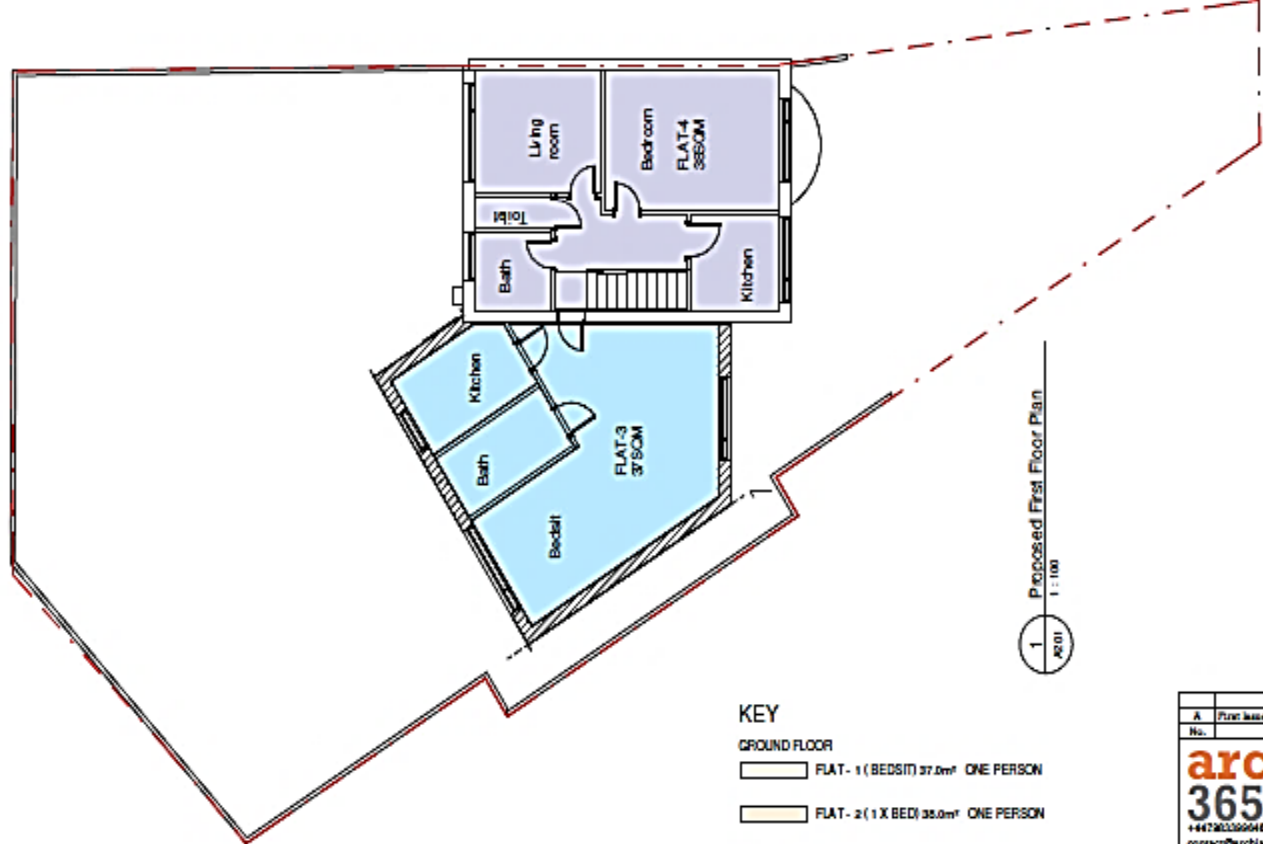
20220639
8 Brancaster Close



A	C
No.	
a:	
30	
+44756	
0203621	
www.a	
30 City	
Leicester	
LE1 1JL	

Proposed ground Floor plan

20220639
8 Brancaster Close



1 Proposed First Floor Plan
1:100

KEY

GROUND FLOOR

FLAT - 1 (BEDSIT) 37.0m² ONE PERSON

FLAT - 2 (1 X BED) 38.0m² ONE PERSON

FIRST FLOOR

FLAT - 3 (BEDSIT) 37.0m² ONE PERSON

FLAT - 4 (1 X BED) 38.0m² ONE PERSON

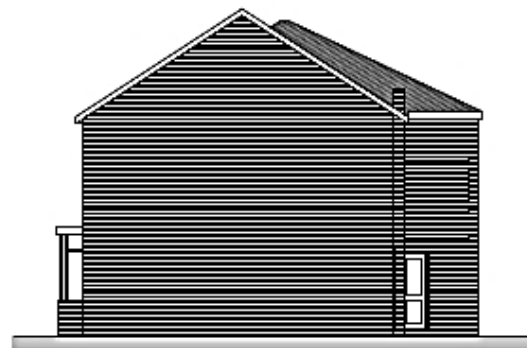
A	First Issue
No.	
arc 365 +447803366946 arc365@btinternet.com www.arc365.co.uk 50 Ipswich Road Leicester LE1 1NA Project 08 BRANCASTLE Drawing Title	

Proposed first floor plan

20220639
8 Brancaster Close



A
1 : 100



2 B
A100 1 : 100



C
1 : 100



4 D
A100 1 : 100

A	First Issue
No.	Draw
archite 365 +447303300048 contact@architects365.co.uk www.architects365.co.uk 20 Lynmouth Road Lelwasee LE10 1NA Project 08 BRANCASTER CLOSE	
Drawing Title Existing Elevations Drawing No.	

Existing and proposed elevations

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8 Brancaster Close

141 Upperton Road, Elms Park View

20220694

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20220694
141 Upperton Road, Elms Park View



20220694

141 Upperton Road, Elms Park View



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141 Upperton Road, Elms Park View



20220694

141 Upperton Road, Elms Park View



20220694

141 Upperton Road, Elms Park View

PROPOSED DORMER WINDOW & INTERNAL ALTERATIONS
 141, UPPERTON ROAD, LEICESTER
 For - Mr P. BARRON



Drawn
 by
 14 Aug 14

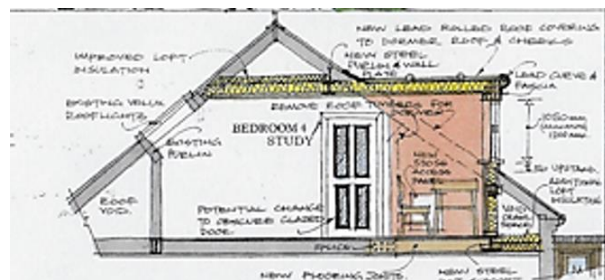
GENERAL ARRANGEMENT DRAWING REFERENCE



Existing Floor plan

20220694

141 Upperton Road, Elms Park View



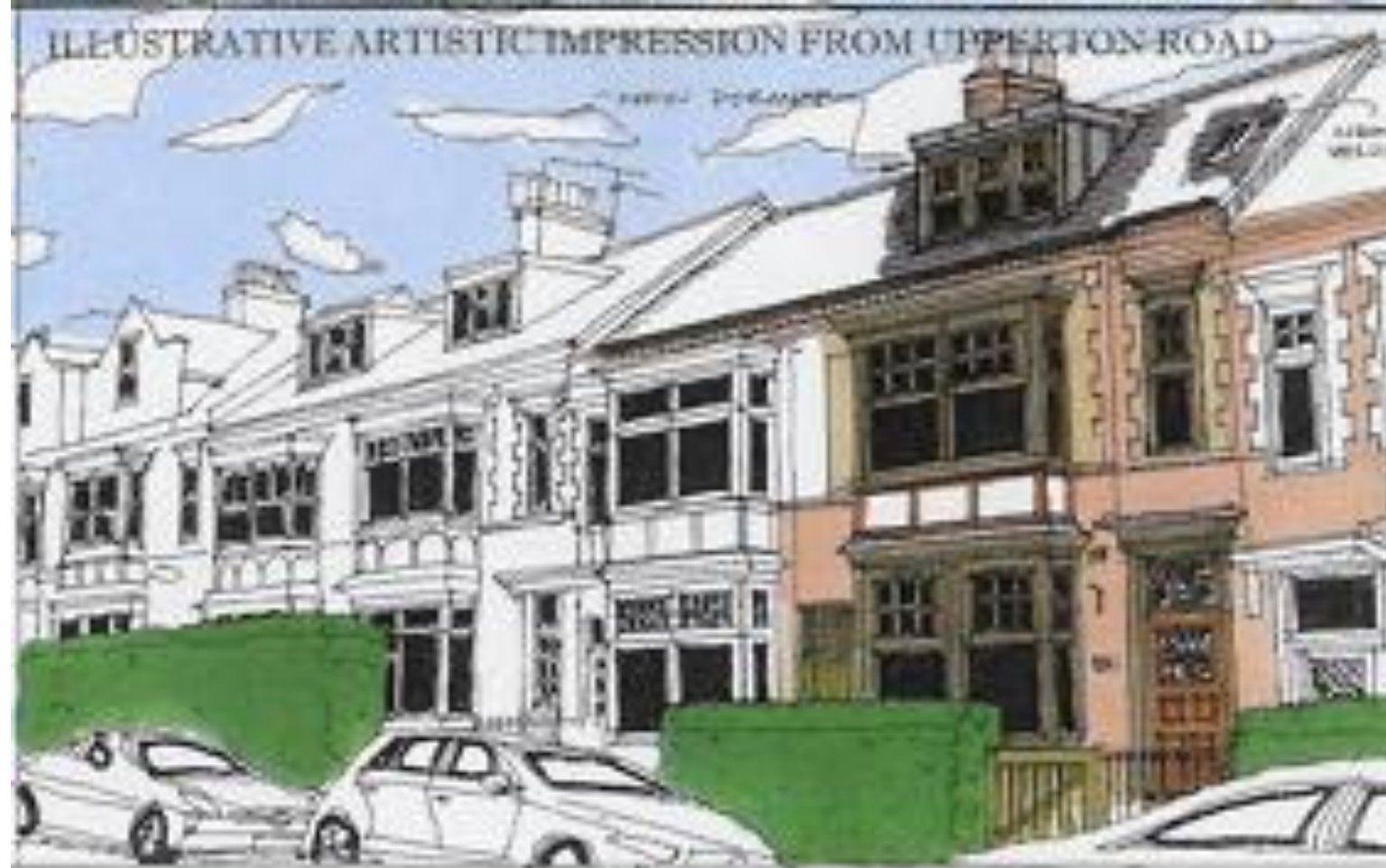
20220694
141 Upperton Road, Elms Park View



Front elevation

20220694

141 Upperton Road, Elms Park View

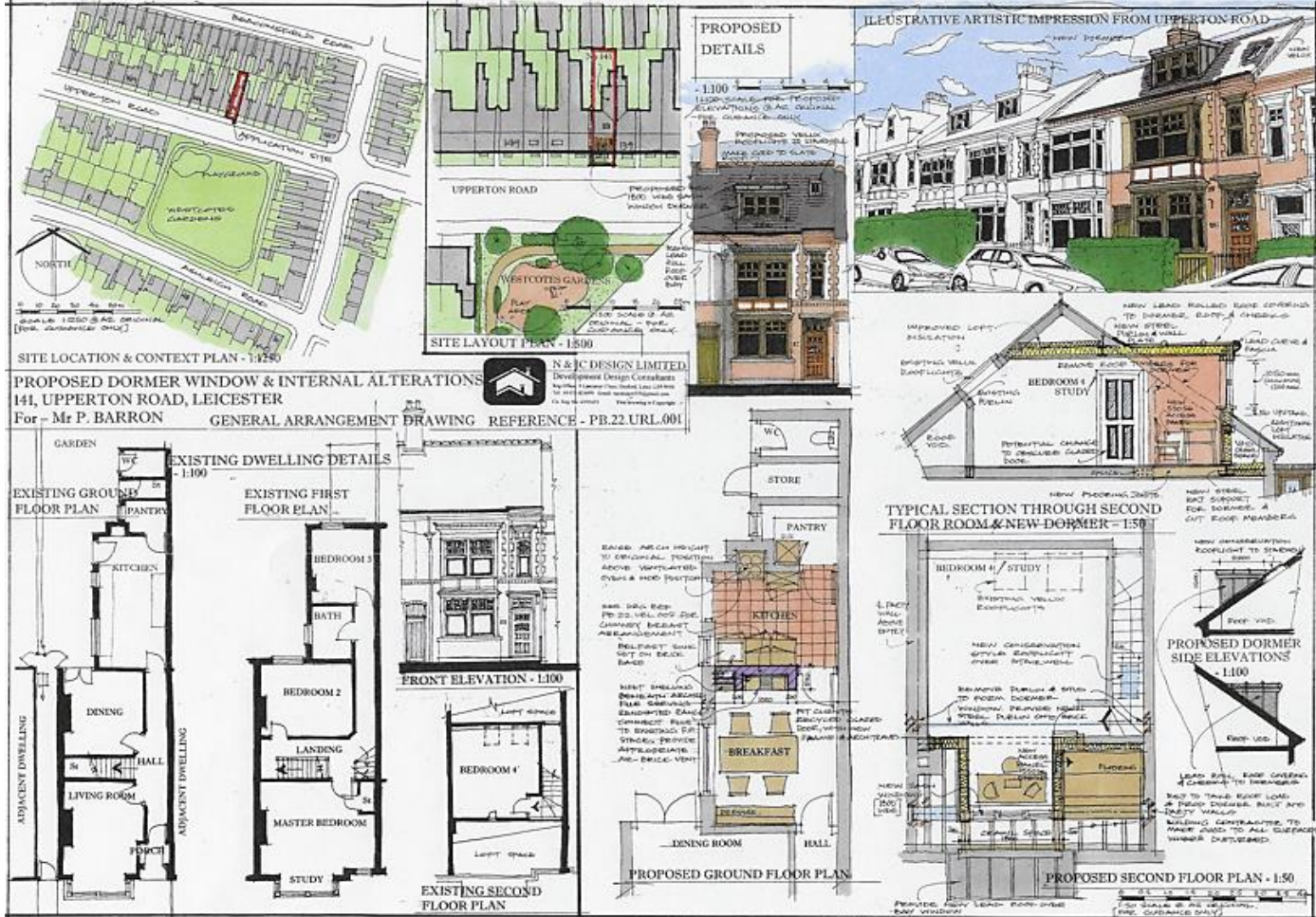


20220694

141 Upperton Road, Elms Park View

20220694

141 Upperton Road, Elms Park View



Full plan - Spare

20220694
141 Upperton Road, Elms Park View